



CHICAGO PLAN COMMISSION

Department of Planning and Development

5950 N. SHERIDAN ROAD

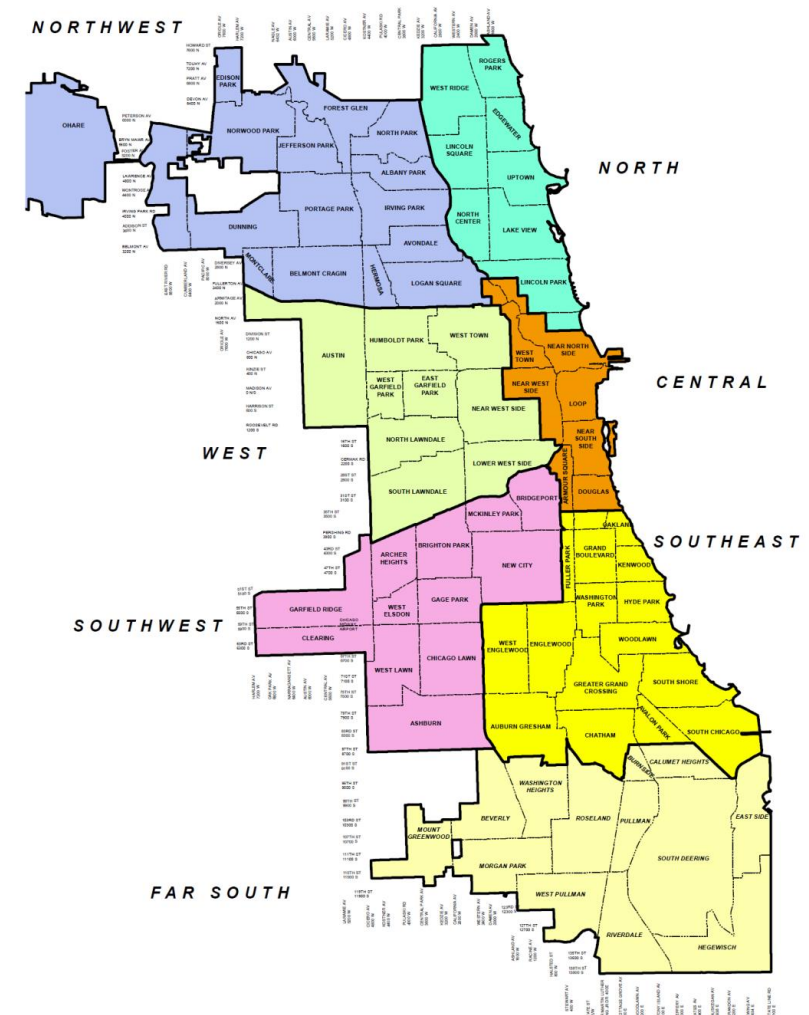
48th WARD

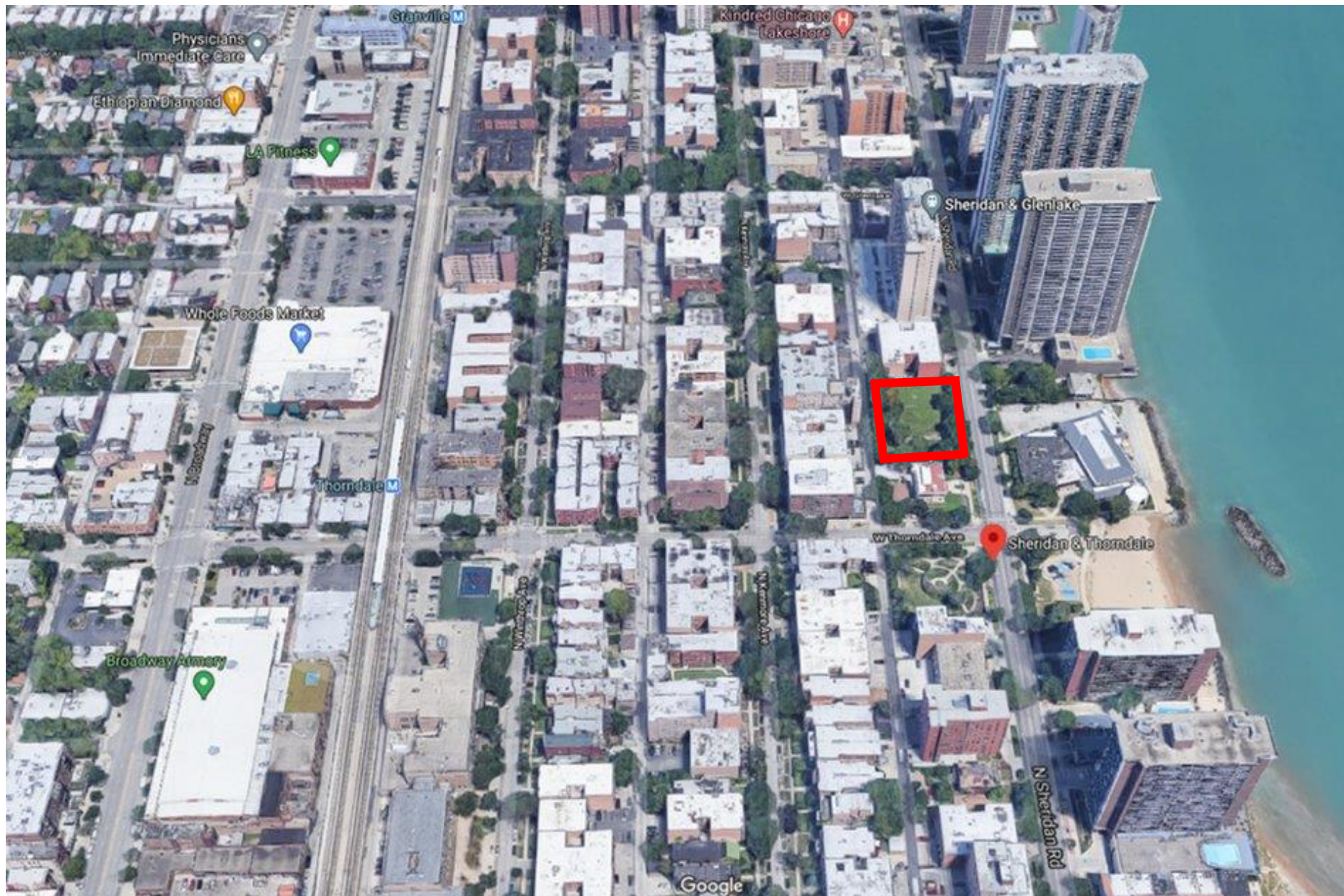
Edgewater Acquisitions LLC

February 18, 2021

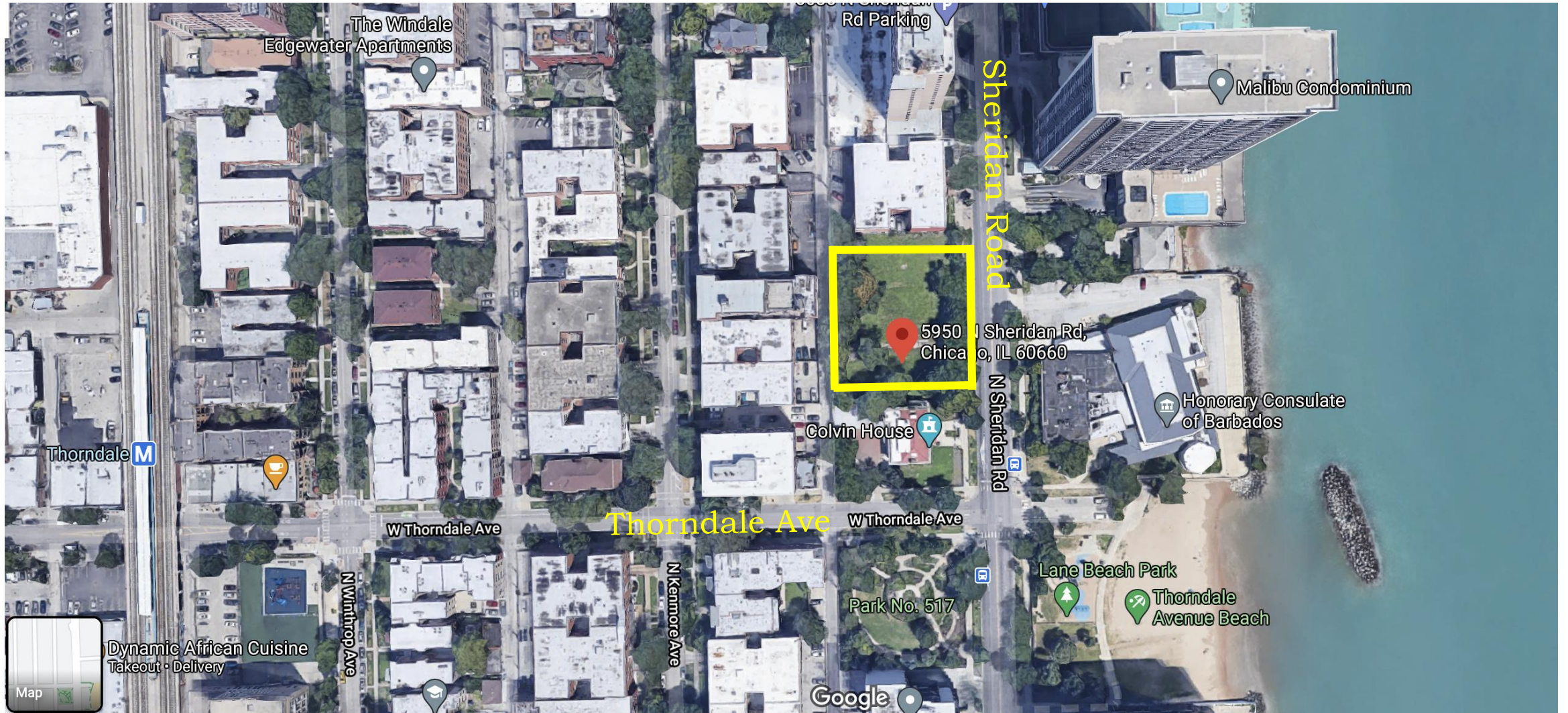
Community Area Snapshot

- North Region
- Edgewater Community Area
- Demographics:
 - Population: 57,022
 - Median Age: 38.5
 - Median income: \$53,183
- Multi-family residential is the predominant land use (31.9%) followed by Transportation (31.4%) and single-family residential (13.3%)
- Zoning: RM5-5
- Adjacent Zoning: RS-1, RM-6, B1-1

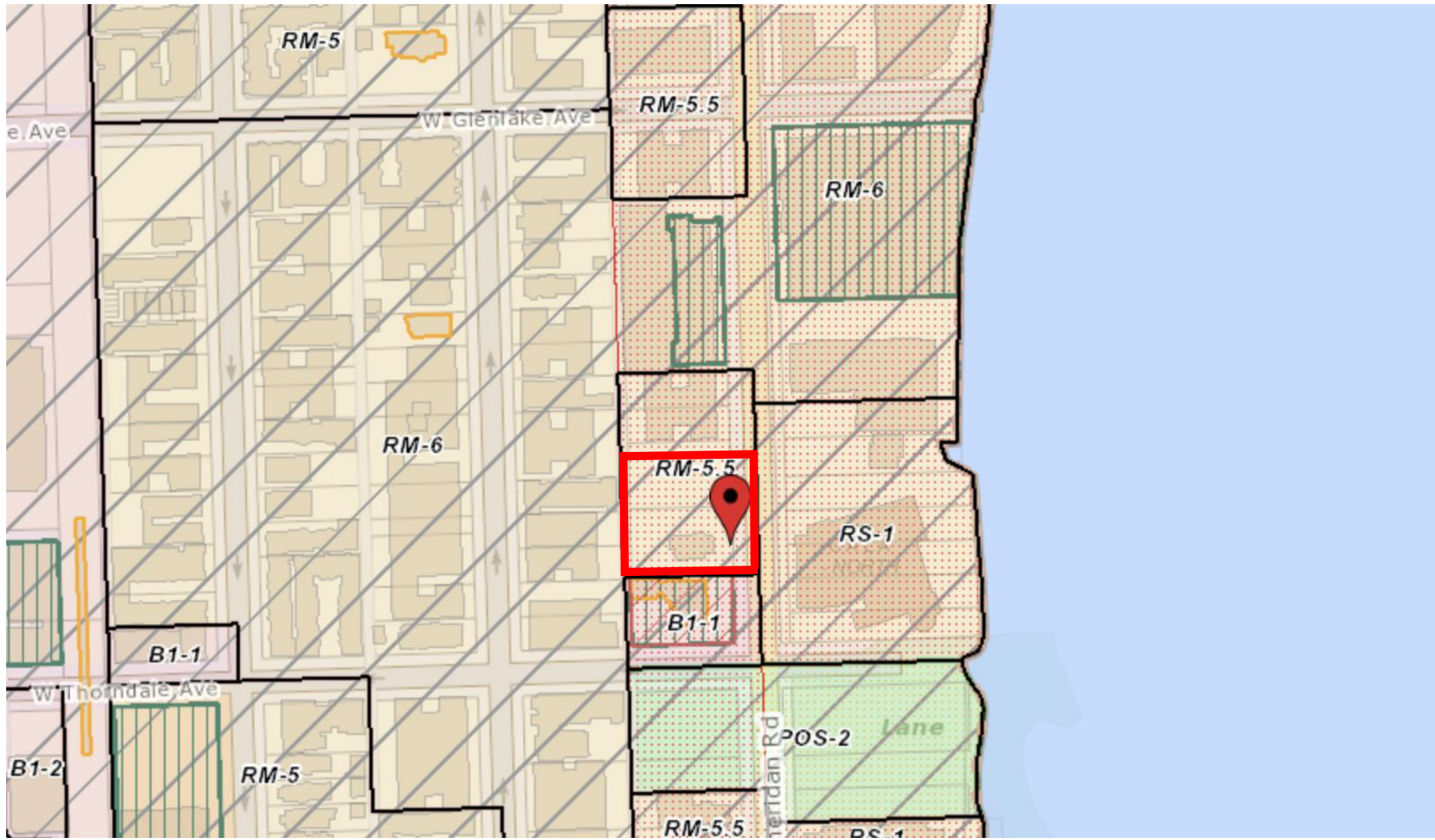




SITE CONTEXT



SITE CONTEXT



LAND USE CONTEXT PLAN

Community Outreach Summary

Spring 2019	Meetings and review by Alderman
May 7, 2019	Meeting with and approval by Association of Sheridan Condominium/Co-Op Owners (“ASCO”)
June 11, 2019	Alderman Sponsored - Community Meeting for neighbors within 1,000 feet – Project overwhelmingly approved
Fall 2019	ZBA Variation application and approval
November 2019	LPO filing

BEFORE



AFTER





Summary of Project Changes from Feedback Received

- Original project scope was based on existing RM5.5 zoning parameters and initial community feedback.
- The initial building was six-stories and contained 59 units with 59 parking spaces.
- Original scope and design approved through the community process.
- Changes since the original design consist of:
 - Applicant initiated reduction in height to five stories
 - Façade design changes, primarily on the front façade based on DPD feedback
 - Changes include included introduction of different color palate
 - Enhancement of vertical elements through façade projections to break-up façade expanse
 - Highlighting of front entrance
 - Enhanced site landscaping

BEFORE



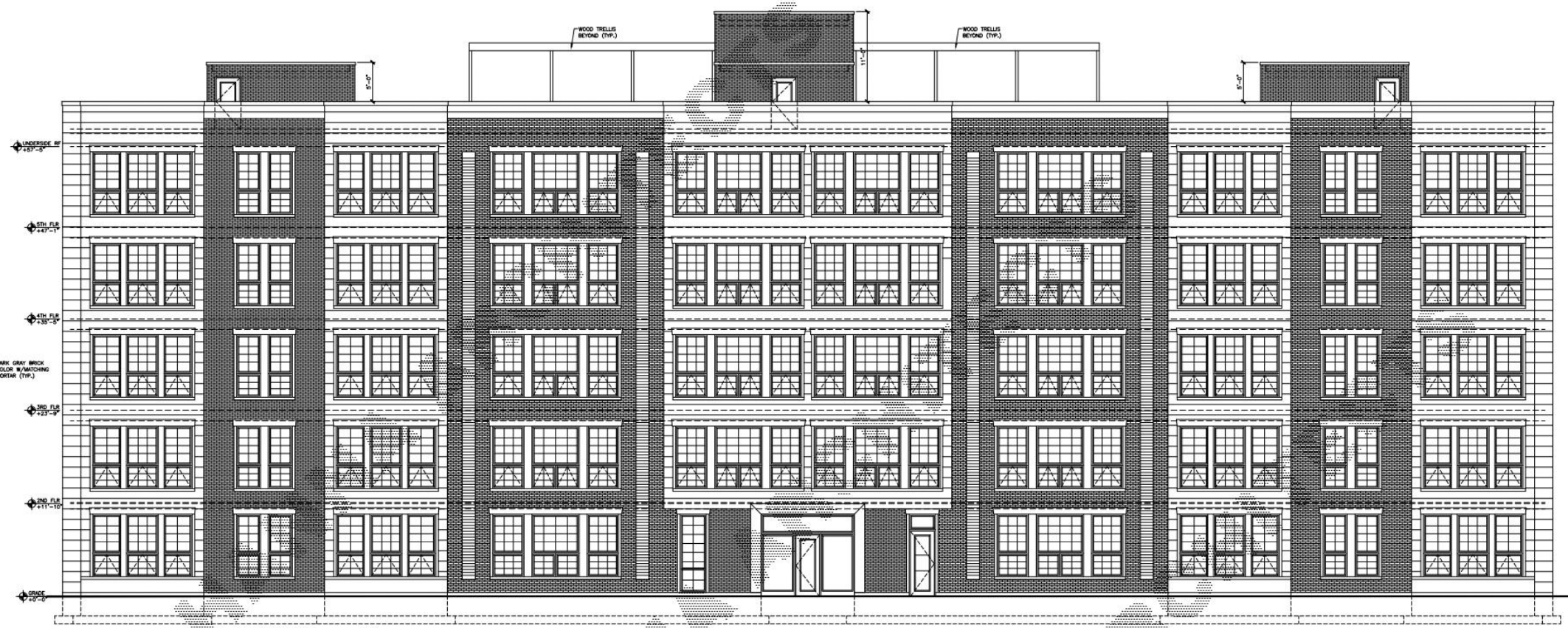
AFTER



5950 North Sheridan Road
Chicago, Illinois

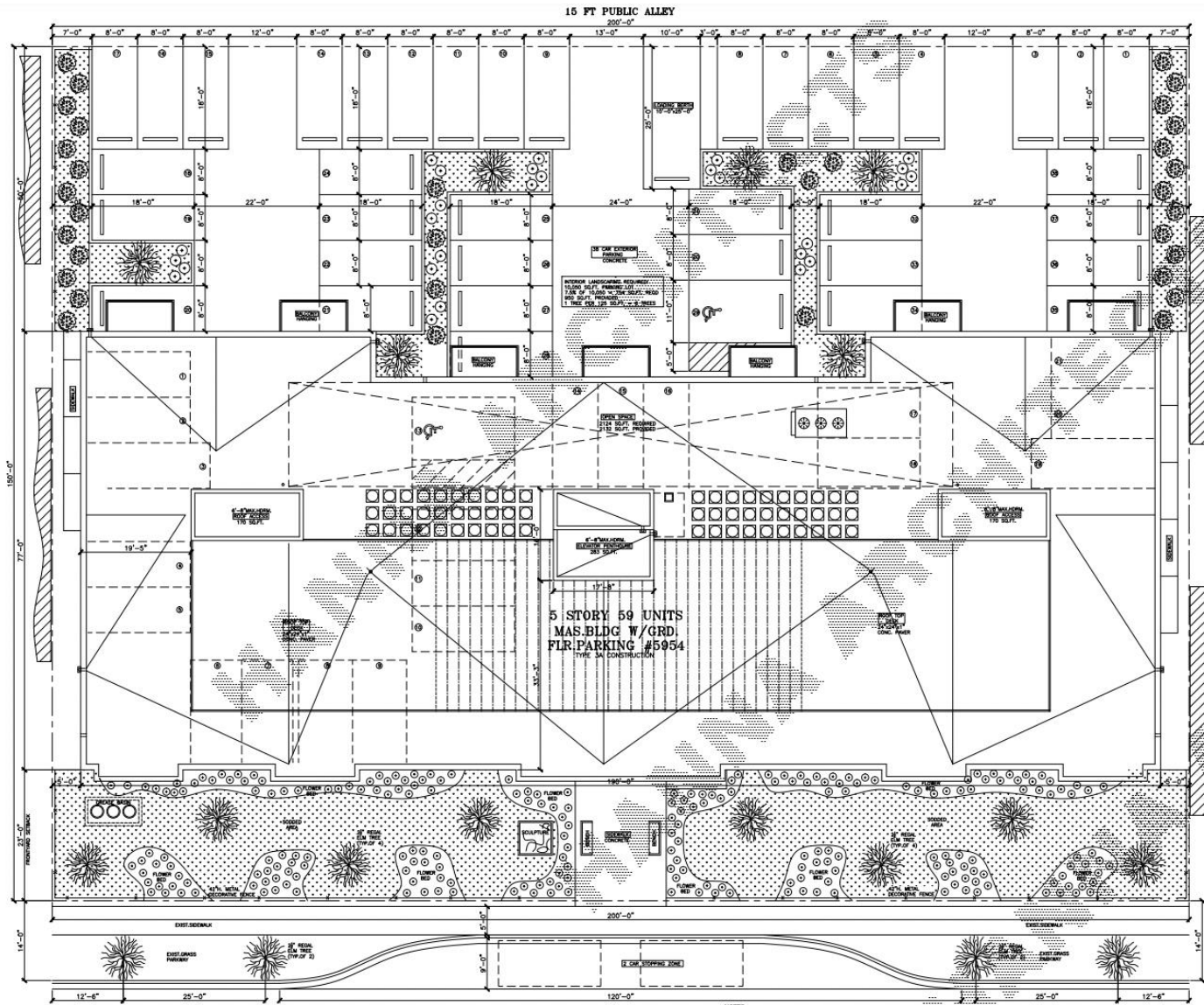


RENDERING OF EAST FACADE




EAST ELEVATION
 SCALE: 3/16" = 1'-0" N. SHERIDAN RD

NOTE:
 1. TYPICAL BRICK TO BE DARK GRAY
 WITH MATCHING MORTAR.
 2. WINDOW FRAMES TO BLACK.



ENERGY CONSERVATION CODE COMPLIANCE STATEMENT
 I CERTIFY THAT I AM A REGISTERED ENERGY PROFESSIONAL (REP). I ALSO CERTIFY THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF THAT THE ATTACHED PLANS FOR 5954 N. SHERIDAN RD FULLY COMPLY WITH THE REQUIREMENTS OF CHAPTER 18-13, ENERGY CONSERVATION OF THE MUNICIPAL CODE OF CHICAGO AS EFFECTIVE 4-23-09 AS WELL AS THE STATE OF ILLINOIS ENERGY CONSERVATION CODE AS REQUIRED BY STATE LEGISLATION.

SIGNED: _____ DATE: FEBRUARY 1, 2021
 (ARCH) ILLINOIS LICENSE NUMBER: 001-010137



ZONING DATA:

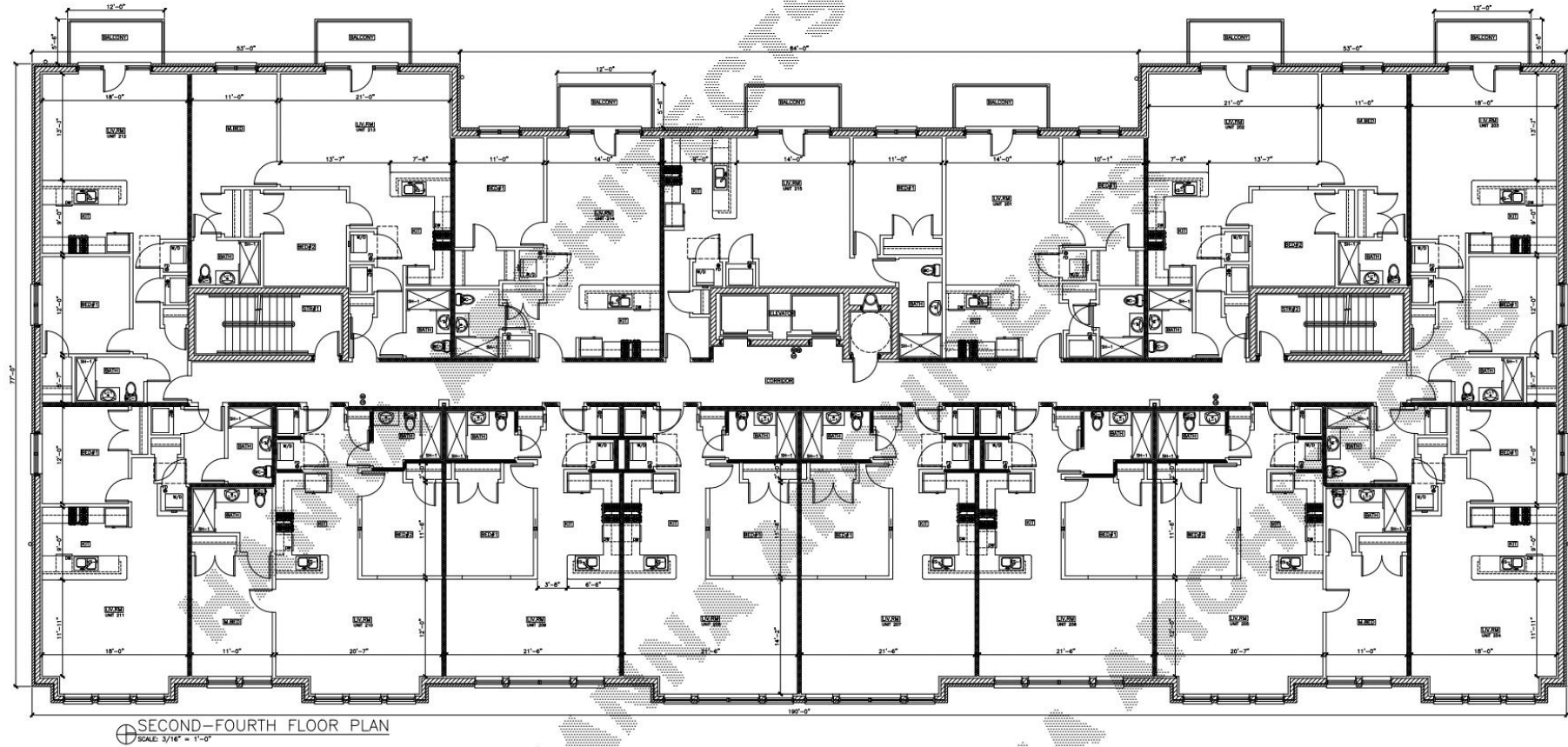
LOT AREA	= 200.00'x150.00' = 30,000 SQ.FT.
F.A.M.	= RM 5.5 = 75,000 SQ.FT.
MAX. BUILDABLE	= 75,000 SQ.FT.

BUILDING SQUARE FOOTAGE:

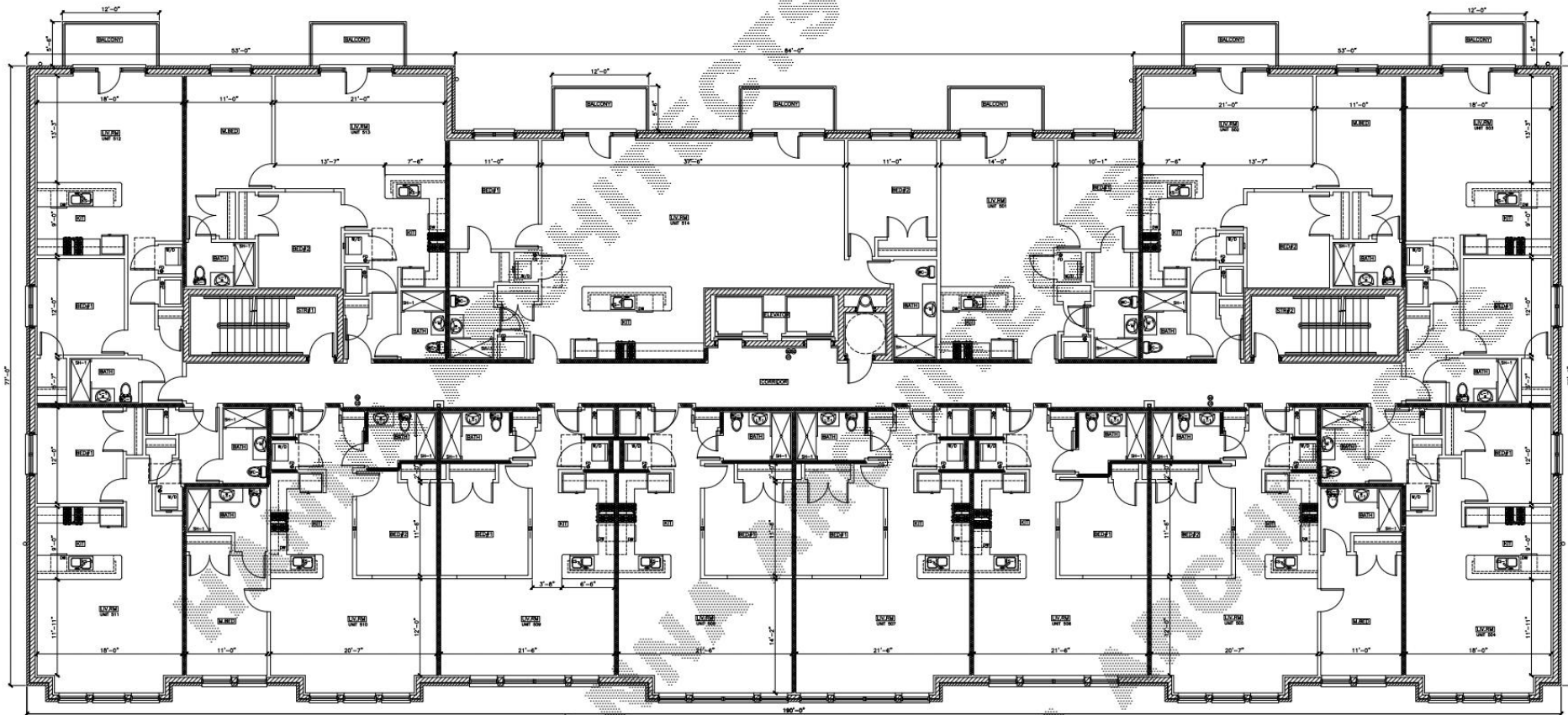
1ST FLOOR	= 5,770.00 SQ.FT.
2ND FLOOR	= 14,100.00 SQ.FT.
3RD FLOOR	= 14,100.00 SQ.FT.
4TH FLOOR	= 14,100.00 SQ.FT.
5TH FLOOR	= 14,100.00 SQ.FT.
TOTAL	= 62,170.00 SQ.FT.

SITE PLAN
 SCALE: 1/8" = 1'-0"

- NOTES:**
1. THE DIFFERENCE IN PAVEMENT ELEVATIONS BETWEEN SIDEWALKS AND/OR ADJACENT CONSTRUCTION SHALL BE NO GREATER THAN 1/4".
 2. REPAIR AND REBUILD ANY PUBLIC SIDEWALK AFFECTED BY CONSTRUCTION (OBTAIN NECESSARY PERMITS).
 3. DO NOT DISTURB ADJACENT PROPERTIES.

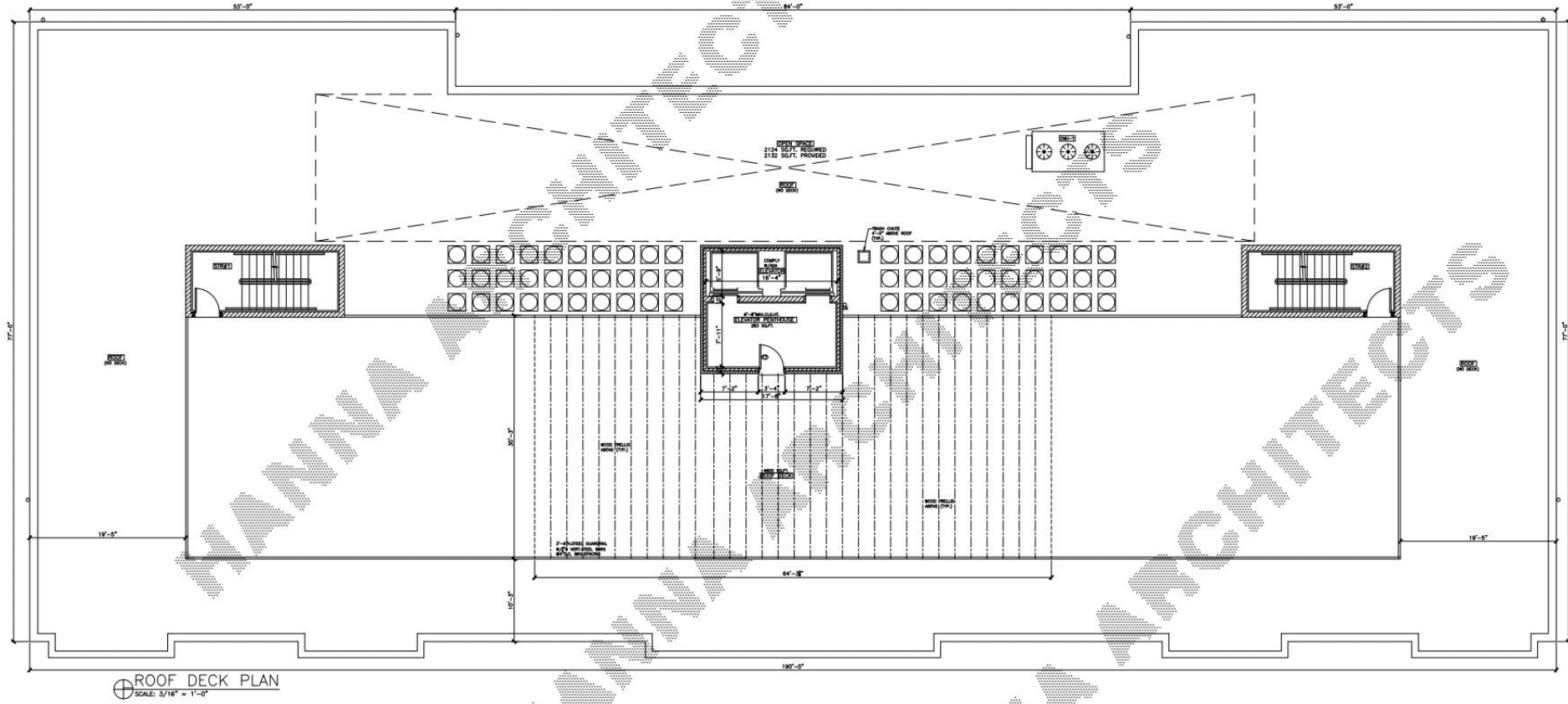


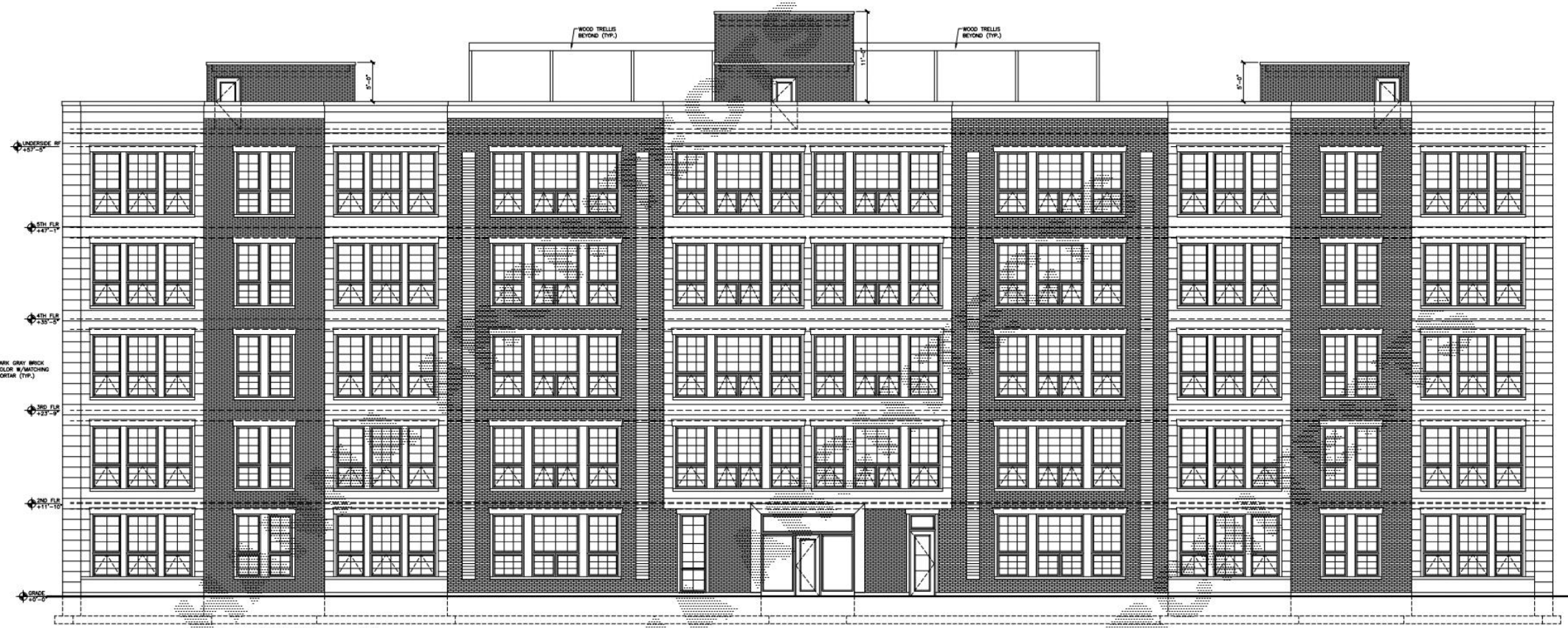
SECOND THROUGH FOURTH FLOOR PLAN



FIFTH FLOOR PLAN
SCALE: 3/16" = 1'-0"

FIFTH FLOOR PLAN





EAST ELEVATION
 SCALE: 3/16" = 1'-0" N. SHERIDAN RD

NOTE:
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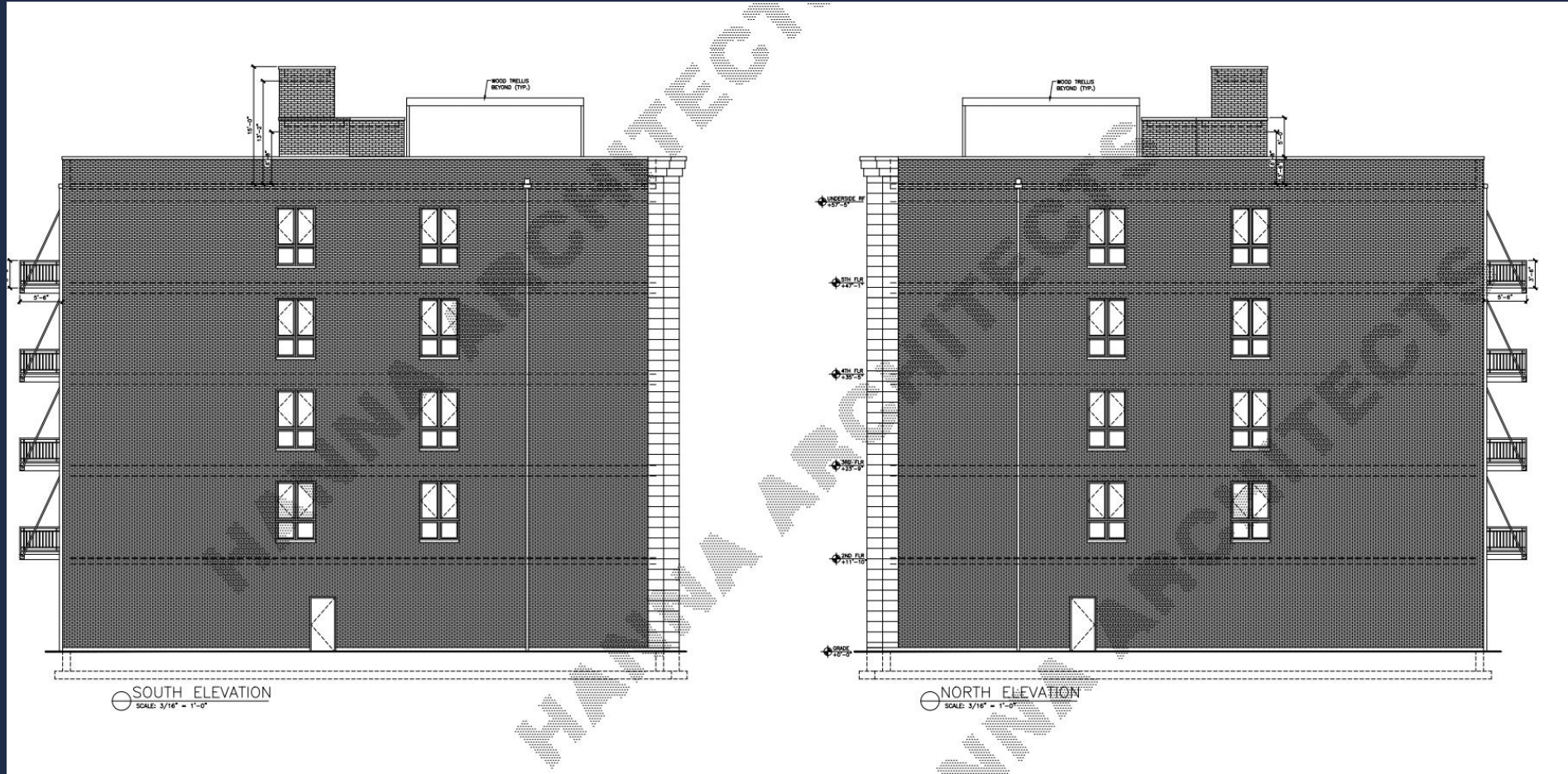


WEST ELEVATION
SCALE: 3/16" = 1'-0" 15 FT ALLEY

NOTE:
GARAGE TO BE MECHANICALLY
VENTILATED. SEE MECH/LOWES.

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BUILDING ELEVATION - WEST



BUILDING ELEVATION – NORTH & SOUTH



DARK IRONSPOT BRICK
ENDICOTT BRICK






GRAY LIMESTONE
INDIANA LIMESTONE



BLACK WINDOW FRAMES
PELLA WINDOWS

Applicable Lakefront Policies & Purposes

1. Complete the publicly owned and locally controlled park system along the entire lakefront
2. Maintain and enhance the landscaped, spacious, and continuous character of the lakeshore parks
3. Continue to improve the water quality and ecological balance of Lake Michigan
4. Preserve the cultural, historical, and recreational heritage of the lakeshore parks
5. Maintain and improve the formal character and open water vista of Grant Park with no new above-ground structures permitted
6. Increase the diversity of recreational opportunities while emphasizing lake-oriented leisure activities
7. Protect and develop natural lakeshore park and water areas for wildlife habitation
-  8. Increase personal safety
9. Design all lake edge and lake construction to prevent detrimental shoreline erosion
-  10. Ensure a harmonious relationship between the lakeshore parks and community edges but in no instance allow private development east of Lake Shore Drive
11. Improve access to lakeshore parks and reduce vehicular traffic on secondary park roads
12. Strengthen the parkway characteristics of Lake Shore Drive
13. Ensure all port, water supply, and public facilities are designed to enhance lakefront character
-  14. Coordinate all public and private development within the water, park, and community zones



DPD Recommendations

- DPD has determined that the Application has met the minimum requirements of Section 17-6 of the Chicago Zoning Code
- DPD found that the project was assessed and is in compliance with Policies and Purposes in Section 16-4-100 of the Lake Michigan and Chicago Lakefront Protection Ordinance