

**MINUTES OF THE MEETING
COMMISSION ON CHICAGO LANDMARKS
October 3, 2024**

The Commission on Chicago Landmarks held its regularly scheduled meeting on October 3, 2024. The meeting was held in Chicago, Illinois, at City Hall, 121 North LaSalle Street, in the City Council Chambers, 2nd Floor. The meeting began at 12:45 p.m.

PRESENT: Gabriel Dziekiewicz, Vice-Chair
Cierra Boatright, Secretary, Commissioner of the Department of Planning & Development
Suellen Burns
Alicia Ponce
Adam Rubin
Richard Tolliver

ABSENT: Ernest Wong, Chairman
Jonathan Fair
Tiara Hughes

ALSO PRESENT:
Dijana Cuvalo, Architect IV, Department of Planning and Development
Members of the Public
(The list of those in attendance is on file at the Commission office.)

A video recording of this meeting is on file at the Historic Preservation Division offices of the Department of Planning and Development and is part of the public record of the regular meeting of the Commission on Chicago Landmarks.

Vice-Chair Dziekiewicz called the meeting to order.

1. Approval of the Minutes of Previous Meeting

Regular Meeting of September 12, 2024

Motioned by Rubin, seconded by Burns. Approved unanimously (6-0).

2. Preliminary Landmark Recommendation

**ERIE STREET ROW
161 East Erie Street**

WARD 42

Matt Crawford presented the report. Resolution to adopt the Preliminary Landmark Recommendation for the Erie Street Row.

Motioned by Ponce, seconded by Boatright. Approved unanimously (6-0).

3. Report from the Department of Planning and Development

HARRIS TRUST & SAVINGS BANK
111 West Monroe Street

WARD 34

Commissioner Boatright presented the report. Resolution to accept the Report from the Department of Planning and Development for the Harris Trust & Savings Bank and take the next step in the designation process to request consent from the property owners.

Motioned by Tolliver, seconded by Rubin. Approved unanimously (6-0).

4. Report from the Department of Planning and Development

KINGDOM BAPTIST CHURCH
301 North Central Avenue

WARD 37

Commissioner Boatright stated that the Department of Planning and Development did not have a formal report for Kingdom Baptist Church, but recommended approval of the proposed designation. Vote to take the next step in the designation process to request consent from the property owners.

Motioned by Boatright, seconded by Burns. Approved unanimously (6-0).

5. Program Committee Report

Recommendations to the Illinois Historic Sites Advisory Council on Nominations to the National Register of Historic Places:

2678 WEST WASHINGTON BOULEVARD

WARD 27

JAMES C. CURTIS & CO. BUILDING
1214-1222 West Van Buren Street

WARD 34

IMMACULATA HIGH SCHOOL - AMENDMENT
600 West Irving Park Road

WARD 46

EDGEWATER GLEN HISTORIC DISTRICT

WARD 48

Roughly bounded by Hood Avenue on the north, Norwood Street on the south, Broadway on the east, and Clark Street on the west

Report on Suggestions Received from the Public for Possible Chicago Landmark Designations (Deadline for submissions was September 16, 2024)

Richard Tolliver presented the report. Resolution to approve the recommendations to the Illinois Historic Sites Advisory Council on three new and one amended nomination to the National Register of Historic Places.

Motioned by Boatright, seconded by Ponce. Approved unanimously (6-0).

6. **Permit Review Committee Reports**

Report on Projects Reviewed at the September 12, 2024, Permit Review Committee Meeting

Dijana Cuvalo presented the report from the Permit Review Committee meeting of September 12, 2024 (see attached).

Report on Permit Decisions by the Commission Staff for the Month of September 2024

Emily Barton presented the staff report for the month of September 2024 (see attached).

7. **Schedule for a Public Hearing on a Permit Application for the Demolition of a Building Pursuant to §2-120-740 through §2-120-800 of the Municipal Code – Announcement**

Announced:

**MOTOR ROW DISTRICT
2347 South Michigan Avenue**

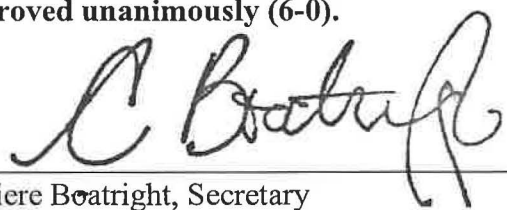
WARD 3

**Date: Thursday, October 17, 2024
Location: City Hall, 121 North LaSalle Street, Room 1003-A, 10th Floor
Time: 10:00 a.m.
Hearing Officer: Jonathan Fair**

8. **Adjournment**

There being no further business, the meeting was adjourned at 1:33 p.m.

Motioned by Burns, seconded by Tolliver. Approved unanimously (6-0).


Ciere Boatright, Secretary

MEETING MINUTES

PERMIT REVIEW COMMITTEE COMMISSION ON CHICAGO LANDMARKS

The Permit Review Committee (PRC) met on September 12, 2024, at 2:15 p.m. The meeting was held in City Hall, Council Chambers.

Present: Gabriel Dziekiewicz
 Jonathan Fair
 Tiara Hughes

Staff: Dijana Cuvalo
 Emily Barton
 Tyler Taylor
 Joyce Ramos

The following projects were reviewed by the PRC:

- 1. 3369 S. Calumet** **4th Ward**
Calumet-Giles-Prairie District
Proposed construction of a new two-car garage

Action: Approved unanimously (3-0) with the following condition:

1. The overall design of the garage is approved as shown on the drawings dated 7/30/24.

- 2. 2678 W. Washington** **27th Ward**
2678 West Washington Boulevard
Proposed exterior and interior rehabilitation of the Main House, Dormitory, and the Coach House including a new stair and elevator addition.

Action: Approved unanimously (3-0) with the following conditions:

1. The proposed location, massing and materials for the new stair and elevator addition as shown on the drawings dated 8/30/24 are approved. The applicant should continue working with staff to modify the details of how the first-floor window on the north façade of the addition meets the Dormitory;

2. New mortar should match the historic mortar in color, joint profile, texture and strength/type;
3. Any brick used to infill an existing historic window opening should match the surrounding historic units in size, shape, color, texture and finish and be set in 1-inch within the opening;
4. The new windows on the Dormitory should be double-hung wood or clad-wood windows. Window details should be included on the permit plans;
5. Material samples shall be submitted with the permit application; and,
6. The project as proposed would require zoning variations and/or adjustments, and the Commission takes no position regarding any requested variance/adjustment relative to the zoning code requirements.

3. 904 W. Armitage

43rd Ward

Armitage-Halsted District

Proposed excavation of front yard, new 10'-wide stair, and relocation of the front entrance at basement level.

Action: Approved unanimously (3-0) with the following conditions:

1. Lowering of the sill of the center bay basement window and installation of the new door is approved as shown on the drawings dated 6/18/24 provided the following conditions are addressed on the permit plans:
 - a. The area of the front yard to be excavated for the bottom landing and the new stair, excluding any retaining walls shall be reduced in width, so it is not wider than the front face of the bay at the foundation, approximately 5 feet;
 - b. Dimensions shall be added to clarify that the width of the center masonry opening at the basement level bay will not be increased;
 - c. An existing/demolition elevation detail identifying the area of masonry to be removed shall be included;
 - d. An enlarged, fully dimensioned plan detail shall be included showing how the new door frame will integrate into the existing masonry opening;
 - e. Where the lintel above the new door opening is to be replaced, the header shall not be altered on

the exterior. This shall be clarified with a note on the drawings; and,

- f. The new guardrails and handrails for the stair and landing shall be minimal in design and details of the proposed rails shall be added to the drawings.

**4. 556 W. Fullerton
Mid-North District**

43rd Ward

Proposed replacement of the outer wythe of brick on the front elevation to address extensive deterioration issues.

Action: Approved unanimously (3-0) with the following conditions:

1. The work is approved as shown on the drawings dated 4/11/2024. The new windows shall be Marvin Ultimate Clad-wood windows as proposed;
2. The new brick shall match the historic brick in size, shape, color, and texture and the brick coursing and mortar joints of the original façade shall be replicated. The new mortar joints shall have a flush or concave profile, and the mortar shall be tinted to match the color of the face brick. Dimensioned details of the existing and proposed brick coursing, alignment and joint profiles shall be provided with the permit application; and,
3. A sample of the new brick shall be reviewed on-site by staff prior to permit approval.

**5. 4840 S. Greenwood
Kenwood District**

4th Ward

Proposed relocation of existing curb cut and driveway from the north side of the property to the south side of the property and alterations to the historic fence.

Action: Approved unanimously (3-0) with the following conditions:

1. The proposed site plan shall be modified to reduce the new driveway width to 9'-0";
2. Reduce the width of the gate to 10'-0" to correspond with the reduced driveway width;
3. Details and specifications for dismantling and storing the sections of the fence to be removed, and reconstructing the portion of the historic fence shall be submitted with the permit plans;

4. Product data and material samples that represent the proposed size, shape, color and texture of the proposed synthetic slate roof shall be submitted with the permit application for review and approval; and,
5. The owner shall apply for any required permits from the Chicago Department of Transportation (CDOT) and address any landscape issues with the Bureau of Forestry regarding the proposed curb cut.

6. 4849 S. Greenwood

4th Ward

Kenwood District

Proposed construction of new curb cut and driveway in south side yard to provide access to new parking pad located behind front façade of house.

Action: Approved unanimously (3-0) with the following conditions:

1. The site plan shall be revised to reduce the width of the driveway to 9'-0";
2. The proposed new curb cut should be reduced in width as much as possible, combined with the existing curb at the immediately adjacent property to the south if possible, and the driveway should be straightened to provide a direct path along the side property line as much as possible. Revised drawings shall be submitted to Historic Preservation staff for review with the permit application;
3. A privacy gate should be installed to screen the parking and should not project into the front yard past the face of the front façade;
4. Modifications to the non-historic fence to provide a new gate to access the driveway should be submitted to Historic Preservation staff for review and approval with the permit application; and,
5. Should the project as proposed require approval from other city agencies (such as Forestry or CDOT), the Commission takes no position regarding such approvals.

Date Rcv'd	Correct'd	Rev #	Address	Permit#	Landmark/District	Ward	Work	Conditions of Approval	PRC Date	Date
9/3/2024		2024-1147	2019 N. Oak Park	101058985	Mars Candy Factory	29	Miscellaneous	Electrical: ELECTRICAL MAINTENANCE FOR THE MONTH OF SEPTEMBER. Interior electrical work only with this permit.		9/3/2024
9/3/2024		2024-1148	20 N. Wacker	101058992	Civic Opera House	42	Miscellaneous	Electrical: ELECTRICAL MAINTENANCE PERMIT FOR SEPTEMBER 2024. Interior electrical work only with this permit.		9/3/2024
9/3/2024		2024-1149	175 N. State	101058993	Chicago Theater	42	Miscellaneous	Misc: monthly maintenance		9/3/2024
8/29/2024		2024-1150	10600 S. Langley	101058754	Pullman	9	Miscellaneous	Electrical: INSTALL A 100 AMP SERVICE AND INSTALL IN CONDUIT NEW BOXES AND SWITCHES PER CITY CODE. Electrical work only with this permit.		9/3/2024
8/28/2024		2024-1151	2156 N. Cleveland	101058714	Mid-North District	43	Miscellaneous	Miscellaneous: CHANGE ELECTRIC CONTRACTOR. Change of electrical contractor only, no work with this permit.		9/3/2024
8/20/2024	9/3/2024	2024-1152	5012 S. Woodlawn	B200026560	Kenwood District	4	Exterior	Exterior: replacement of 8 windows on side elevation only. No window replacement permitted on front façade.		9/3/2024
8/6/2024	8/20/2024	2024-1153	2049 W. Pierce	B200025296	Wicker Park District	1	Exterior	Exterior: masonry repairs to all elevations per submitted exhibits. Any removed masonry to be salvaged and reinstalled when possible. Any new masonry to match historic in size, color, texture/finish, and general appearance. New mortar to match historic in color, texture, strength/type, and profile. All work and detailing to match existing.		9/3/2024
8/21/2024		2024-1154	6331 N. Sheridan	B200026668	Adolf Schmidt House	48	Exterior	Exterior: replacement of asphalt shingles with new		9/3/2024
8/20/2024		2024-1155	3558 S. Artesian	101057644	DuPont Whitehouse House	12	Exterior and Interior	Exterior and Interior: 2019 CBC SPR: ONE STORY REAR MUD ROOM ADDITION WITH ENTRY STEPS, NEW OCCUPIABLE ROOFTOP ON AN EXISTING ONE-STORY PORTION OF THE BUILDING ON AN EXISTING 3-STORY SINGLE FAMILY RESIDENCE, TYPE V-A CONSTRUCTION, R-5 OCCUPANCY. NEW ONE-STORY TWO-CAR DETACHED WOOD FRAME GARAGE. NEW IRON AND MASONRY PERIMETER FENCE - 164 LF. NEW 6'-0" HIGH SOLID WOOD FENCE - 128 LF. Approved per Historic Preservation stamped drawings dated 9/4/24: Per 8/8/24 Permit Review Committee approval, new fence at north side of front yard to be max. 5', open metal as proposed. New masonry for raised parapet for new roof deck to match existing common brick below in size, shape, color, and texture. New mortar joints and tuckpointing of existing masonry to match existing mortar joints in size, profile, color, texture, and strength/type. Work to site, rear elevation, and kitchen wing only, no work to front/side elevations or roofline of house with this approval.	08/08/24	9/4/2024

Date Rcv'd	Correct'd	Rev #	Address	Permit#	Landmark/District	Ward	Work	Conditions of Approval	PRC Date	Date
7/22/2024	8/21/2024	2024-1156	4649 N. Broadway	101055300	Uptown Square District	46	Interior	Interior: SELF-CERT 2019 CBRC: INTERIOR ALTERATIONS OF 6,367 SQ. FT. FOR MEDICAL OUTPATIENT CLINIC ON 1ST AND 2ND FLOORS OF A 2-STORY BUILDING. INTERIOR DEMOLITION UNDER PERMIT 101052996. (OCCUPANCY GROUP B; TYPE IIIB CONSTRUCTION). Approved per Historic Preservation stamped drawings dated 9/5/24: Window safety films to be clear as proposed. No window replacement or other exterior work to front façade with this approval.		9/5/2024
9/5/2024		2024-1157	12 S. Michigan	101059152	Historic Michigan Boulevard District	42	Miscellaneous	Misc: Replace door operator on EG passenger elevators 5 & 6, 3500lbs capacity, 19 stops	4/4/2013	9/5/2024
9/5/2024		2024-1158	209 S. Lasalle	101059165	Rookery Building	34	Miscellaneous	Misc: Replacement of Pit buffers, Pit Channels, and perform Buffer test on One(1) 4500LB Capacity, 12-Floor, 350FPM, Passenger Elevator #7		9/5/2024
7/18/2024	8/21/2024	2024-1159	1215 W. Gunnison	B200023533	Uptown Square District	46	Exterior	Exterior: REPLACEMENT OF ROOF DECKS AND PRIVACY PARTITION REPLACEMENT AS PERMITTED ON 100931078, ISS'D 10/22. ALL WORK TO BE SAME AS EXISTING. Railings and privacy wall to not exceed height of existing.		9/5/2024
5/22/2024	8/21/2024	2024-1160	2135 N. Cleveland	B200018074	Old Town Triangle District	43	Exterior	Exterior: Replacement of 4 windows on 3rd floor street-facing elevation. Per note in supporting documentation, replacement brickmold to be made of wood, matching existing profile/size of historic.		9/5/2024
7/29/2024	8/27/2024	2024-1161	199 E. Lake Shore	101054661	East Lake Shore Drive District	2	Exterior	Exterior: SP 2019 CBRC: ADD NEW NON COMBUSTIBLE PRIVATE ROOFTOP DECK FOR UNIT 10E WITH PERGOLA, GUARDRAILS, AND NEW INTERIOR STAIRS WITHIN EXISTING PRIVATE ROOF ACCESS STAIR ENCLOSURE ON EXISTING 11-STORY, 13-UNIT BUILDING per stamped HP exhibits dated 9/6/24. As proposed, new railings to have a dark, non-reflective finish.		9/6/2024
8/23/2024		2024-1162	225 W. Randolph	101055833	Illinois Bell Building	42	Interior	Interior: SELF-CERT 2019 CBC. BUILDOUT OF BUSINESS OFFICE SPACE AND PUBLIC CORRIDOR ON THE 24TH FLOOR per stamped HP plans dated 9/6/24. No exterior work or window replacement.		9/6/2024
9/6/2024		2024-1163	1328 N. Milwaukee	101057161	Milwaukee Avenue District	1	Interior	Interior: [SELF-CERT] COMMERCIAL INTERIOR BUILD-OUT OF A FIRST FLOOR TENANT SPACE IN AN EXISTING 3-STORY BUILDING. TENANT SPACE HAS AN OCCUPANCY TYPE OF B-BUISNESS AND IS EXISTING TO REMAIN. SCOPE IS LIMITED TO INTERIOR WORK ONLY. MECHANICAL, ELECTRICAL, AND PLUMBING IN SCOPE. NO CHANGE TO EXTERIOR FAÇADE per stamped HP plans dated 9/6/24. No exterior work or storefront replacement.		9/6/2024
8/22/2024		2024-1164	1383 N. Milwaukee	B200026829	Milwaukee Avenue District	1	Exterior	Exterior: masonry repairs front of building above front door. All work to match existing.		9/6/2024
8/26/2024		2024-1165	3327 S. Prairie	B200026950	Calumet-Giles-Prairie District	4	Exterior	Exterior: IN-KIND REPLACEMENT OF EXTERIOR WINDOWS AND DOORS IN EXISTING OPENINGS. REPLACEMENT WINDOWS: 0; REPLACEMENT SKYLIGHTS: 0; REPLACEMENT DOORS: 1. AFFECTS: 1 RESIDENTIAL UNIT(S), 0 NON-RESIDENTIAL UNIT(S), LOCATION: 3RD FLOOR, REAR FACADE. No windows or doors to be replaced on front façade. Proposed doors to be replaced are on the rear façade only.		9/6/2024

Date Rcv'd	Correct'd	Rev #	Address	Permit#	Landmark/District	Ward	Work	Conditions of Approval	PRC Date	Date
8/24/2024		2024-1166	11219 S. Forrestville	B200026907	Pullman	9	Exterior	Any new brick required should match the historic in size, shape, color, texture and finish. New mortar to match historic mortar in color, joint profile, texture and strength/type. No chemical cleaning or sandblasting to occur with this approval. Dry grinding only. Any water power washing to be less than 400 psi.		9/6/2024
9/6/2024		2024-1167	11219 S. Forrestville	Environment	Pullman District	9	Environmental	Environmental: For associated Permit #B200026907. No chemical cleaning or sandblasting to occur with this approval. Dry grinding only. Any water power washing to be less than 400 psi.		9/6/2024
9/6/2024		2024-1168	2155 W. North	101058338	Wicker Park District	1	Exterior and Interior	Exterior and Interior. SPR 2019 CBRC: REVISION TO SELF-CERTIFICATION PERMIT #101043861 TO INCLUDE BASEMENT DETAIL, STRUCTURAL REVISIONS & NEW STEEL STAIR IN EXISTING 3 STORY 4 D.U./RETAIL-OFFICE BUILDING AS PER PLAN (OCCUPANCY GROUP R-2, M, B TYPE IIIA CONSTRUCTION). Approved per Historic Preservation stamped drawings dated 9/6/12: New masonry to match historic in size, color, texture/finish, and general appearance. Windows to be aluminum-clad wood 1/1 double hung windows.		9/6/2024
8/9/2024	8/24/2024	2024-1169	2347 W. Walton	B200025573	Ukrainian Village District	36	Exterior	Exterior: TUCKPOINTING AND UNIT MASONRY REPAIR / REPLACEMENT: 1000 SQ. FT., LINTEL QTY. 9, MAX. LENGTH 6. LOCATION: FRONT LINTEL; SIDES TUCKPOINTING. Any masonry required to be removed for the lintel replacement should be salvaged and reinstalled. New mortar to match historic mortar in color, joint profile, texture and strength/type. No chemical cleaning or sandblasting to occur with this approval. Dry grinding only. Any water power washing to be less than 400 psi.		9/6/2024
9/6/2024		2024-1170	2347 W. Walton	Environment	Ukrainian Village District	36	Exterior	Environmental: For associated Permit #B200025573. No chemical cleaning or sandblasting to occur with this approval. Dry grinding only. Any water power washing to be less than 400 psi.		9/6/2024
7/24/2024	8/22/2024	2024-1171	1247 N. Damen	101055267	Wicker Park District	1	Exterior and Interior	Exterior and Interior. SELF-CERT 2019 CBRC: REAR 2 STORY ADDITION & REHAB EXISTING 2 STORY 3 DU BUILDING WITH BASEMENT, REAR 2 STORY DECK WITH STAIR AS PER PLAN (OCCUPANCY GROUP R-5, TYPE VA CONSTRUCTION). Approved per Historic Preservation stamped drawings dated 9/6/24: New windows at front elevation to be clad-wood. For tuckpointing, new mortar shall match historic mortar in color, joint profile, texture, and strength/type. When grinding existing mortar joints, care shall be taken not to overcut surrounding masonry units. Dry grinding only, no chemical cleaning or sand blasting to occur with this approval. Pressure washing less than 400psi with fan tip brush.		9/9/2024
9/9/2024		2024-1172	1526 N. Leavitt	101059289	Wicker Park District	1	Miscellaneous	Misc: electrical for ev charger in garage		9/9/2024
7/25/2024	8/26/2024	2024-1173	155 N. Carpenter	101055915	Fulton-Randolph Market District	27	Interior	Interior: SELF CERT 2019 CBRC: INTERIOR ALTERATIONS TO TWO FLOORS AND PARTIAL OF EXISTING ROOF TOP TERRACE FOR LIVE NATION. WORK TO INCLUDE NEW NON LOAD BEARING PARTITIONS, CEILINGS, FINISHES, PLUMBING, ELECTRICAL AND MECHANICAL WORK AS PER PLANS. NO STRUCTURAL WORK. (IB CONSTRUCTION, B-BUSINESS USE). Approved per Historic Preservation stamped drawings dated 9/9/24: Interior work only, no exterior work ow window replacement with this approval.		9/9/2024

Date Rcv'd	Correct'd	Rev #	Address	Permit#	Landmark/District	Ward	Work	Conditions of Approval	PRC Date	Date
9/9/2024		2024-1174	1807 N. Orleans	B200027117	Old Town Triangle District	43	Exterior	Exterior: flat roof replacement		9/9/2024
8/27/2024		2024-1175	2333 W. Cortez	101058462	Ukrainian Village District Extension II	36	Exterior	Exterior: REMOVE AND REPLACE EXISTING REAR OPEN WOOD PORCH AND STAIRS AS PER PLAN. Approved per Historic Preservation stamped drawings dated 9/11/24: New wood porch at rear of building only, no other work with this approval. No change to building façade, windows, or roofline.		9/11/2024
8/1/2024	8/27/2024	2024-1176	11213 S. Forrestville	B200024775	Pullman	9	Exterior	Exterior: TUCKPOINTING AND UNIT MASONRY REPAIR / REPLACEMENT: 500 SQ. FT., LINTEL QTY. 0, MAX. LENGTH 0. LOCATION: MASONRY REPAIRS. Approved per attachments received 5/15/24: Brick removed to be salvaged and replaced to greatest extent feasible. Any new brick to match historic in size, shape, color, texture, & finish. New mortar to match historic mortar in color, joint profile, texture, & strength/type. When grinding existing mortar joints, surrounding masonry units shall not be overcut. Dry grinding only, no chemical cleaning or sand blasting to occur with this approval. Pressure washing less than 400psi with fan tip brush.		9/11/2024
7/30/2024	8/28/2024	2024-1177	6900 S. Euclid	101055737	Jackson Boulevard District	5	Interior	Interior: SPR 2019 CBC SINGLE FAMILY HOUSE INTERIOR RENOVATION. Approved per Historic Preservation stamped drawings dated 9/12/24: No window replacement or other exterior work to elevations or roofline with this approval.		9/12/2024
9/12/2024		2024-1179	2462 N. Orchard	Environment	Arlington-Deming District	43	Environmental	Environmental: Care to be taken not to damage surrounding masonry units. Cleaner product to be Prosoco Enviro Klean 2010 All Surface Cleaner. Product to be used per manufacturerer direction. Prior to full application, test the product on a small inconspicuous area to determine dwell time and compatibility with the substrate.		9/12/2024
9/12/2024		2024-1180	2464 N. Orchard	Environment	Arlington-Deming District	43	Environmental	Environmental: Care to be taken not to damage surrounding masonry units. Cleaner product to be Prosoco Enviro Klean 2010 All Surface Cleaner. Product to be used per manufacturerer direction. Prior to full application, test the product on a small inconspicuous area to determine dwell time and compatibility with the substrate.		9/12/2024
8/28/2024		2024-1181	1209 N. Astor	B200027100	Astor Street District	43	Exterior	Exterior: masonry repairs to parapet walls facing roof. Any new required coping to match existing. No work to main facades.		9/12/2024
8/28/2024		2024-1182	5550 N. Kenmore	B200027355	Bryn Mawr Apartment Hotel	48	Exterior	Exterior: masonry repairs on all elevations per exhibit submitted. Any removed masonry to be salvaged and reinstalled when possible. Any new masonry to match historic in size, color, texture/finish, and general appearance. New mortar to match historic in color, texture, strength/type, and profile. All work and detailing to match existing.		9/12/2024
8/28/2024		2024-1183	19 E. Goethe	B200027362	Astor Street District	43	Exterior	Exterior: façade repairs and tuckpointing on north elevation. All JAHN repair mortar to match historic sandstone in color, texture, and decorative profile. New mortar to match historic in color, texture, strength/type, and profile. All work and detailing to match existing.		9/12/2024

Date Rcv'd	Correct'd	Rev #	Address	Permit#	Landmark/District	Ward	Work	Conditions of Approval	PRC Date	Date
8/28/2024		2024-1184	1326 E. Hyde Park	101058031	Kenwood District	4	New Construction	New Construction: SPR 2019 CBRC: REVISION TO PERMIT 101031464. REVISION TO "H" BUILDING (1326-1332 E. HYDE PARK BLVD.) INCLUDES RECONFIGURATION OF BUILDING FROM 4 TOWNHOUSE UNITS TO 3 TOWNHOUSE UNITS. REVISION TO "M" BUILDING (1329-1335 E. MADISION PARK) INCLUDES NON-STRUCTURAL INTERIOR ALTERATIONS TO THE FIRST AND SECOND FLOOR OF UNIT M1 AND THE FIRST FLOOR OF UNIT M4. TOWNHOUSE UNITS INCLUDE (1) INDOOR PARKING SPACE PER UNIT (7 TOTAL) AND PRIVATE OCCUPIED ROOFTOPS. FENCING AND DRIVEWAY FROM PREVIOUS PERMIT ARE NOT IMPACTED BY REVISION. (OCCUPANCY GROUPS R-5. TYPE VA CONSTRUCTION). Approved per Historic Preservation stamped drawings dated 9/12/24: Per 8/3/2023 permit Review Committee approval, 6’ fence must be set back at least 3’ from front property line. As proposed, windows to be clad-wood by Weathershield. Brick to be by Interstate Brick in color ‘bronzestone’ with matching color mortar.	08/03/23	9/12/2024
8/28/2024		2024-1185	1329 E. Madison Park	101058035	Kenwood District	4	New Construction	New Construction: SPR 2019 CBRC: REVISION TO PERMIT 101031464. REVISION TO "H" BUILDING (1326-1332 E. HYDE PARK BLVD.) INCLUDES RECONFIGURATION OF BUILDING FROM 4 TOWNHOUSE UNITS TO 3 TOWNHOUSE UNITS. REVISION TO "M" BUILDING (1329-1335 E. MADISION PARK) INCLUDES NON-STRUCTURAL INTERIOR ALTERATIONS TO THE FIRST AND SECOND FLOOR OF UNIT M1 AND THE FIRST FLOOR OF UNIT M4. TOWNHOUSE UNITS INCLUDE (1) INDOOR PARKING SPACE PER UNIT (7 TOTAL) AND PRIVATE OCCUPIED ROOFTOPS. FENCING AND DRIVEWAY FROM PREVIOUS PERMIT ARE NOT IMPACTED BY REVISION. REFER TO PERMIT 101058031 FOR FULL DRAWING SET OF BOTH BUILDINGS. (OCCUPANCY GROUPS R-5. TYPE VA CONSTRUCTION). Approved per Historic Preservation stamped drawings dated 9/12/24: Per 8/3/2023 permit Review Committee approval, 6’ fence must be set back at least 3’ from front property line. As proposed, windows to be clad-wood by Weathershield. Brick to be by Interstate Brick in color ‘bronzestone’ with matching color mortar.		9/12/2024
8/29/2024		2024-1186	4928 S. Ellis	B200027494	Kenwood District	4	Exterior	Exterior: PARAPET REBUILDING: 79 SQ. FT. LOCATION: NORTH PARAPET WALL. Approved per attachments received 8/29/24: Brick removed to be salvaged and replaced to greatest extent feasible. Any new brick to match historic in size, shape, color, texture, & finish. New mortar to match historic mortar in color, joint profile, texture, & strength/type. When grinding existing mortar joints, surrounding masonry units shall not be overcut. Dry grinding only, no chemical cleaning or sand blasting to occur with this approval. Pressure washing less than 400psi with fan tip brush.		9/13/2024
8/9/2024	8/30/2024	2024-1187	939 W. Randolph	101054707	Fulton-Randolph Market District	27	Sign	Sign: PUSH THROUGH LIGHTBOX SIGN: Approved per Historic Preservation stamped exhibits dated 9/13/24: Attachments to be made at mortar joints only. All electrical boxes and conduit to be concealed.		9/13/2024

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8/9/2024	8/30/2024	2024-1188	939 W. Randolph	101054708	Fulton-Randolph Market District	27	Sign	Sign: PUSH THROUGH BLADE SIGN - DOUBLE SIDED: Approved per Historic Preservation stamped exhibits dated 9/13/24: Attachments to be made at mortar joints only. All electrical boxes and conduit to be concealed.		9/13/2024
9/18/2024	9/3/2024	2024-1189	2019 W. Potomac	101050107	Wicker Park District	1	Exterior and Interior	Exterior and Interior: CURRENT AND PROPOSED USE/OCCUPANCY CLASSIFICATION: MULTI-FAMILY, RESIDENTIAL, SINGLE UNIT.BASEMENT RENOVATION WITH NEW FRAMING, NEW PLUMBING FIXTURES, NEW WINDOWS IN EXISTING OPENINGS, AND NEW LVP FLOORING. RENOVATION OF THE BATH FLOOR WITH NEW TILE, NEW DOORS, UPDATING THE STAIRS FOR CODE COMPLIANCE per stamped HP plans dated 9/13/24. Window replacement at basement level only with wood-clad windows on front elevation.		9/13/2024
9/13/2024		2024-1190	50 W. Washington	101059561	Daley Center	42	Mechanical	Electrical: ADDITION OF 314 WIRELESS ACCESS POINTS, INCLUDING NEW PIPE AND WIRE. Located above ceiling	3/13/2014	9/13/2024
9/16/2024		2024-1193	3131 W. Logan	B200027739	Logan Square Boulevards District	35	Exterior	Exterior: IN-KIND REPLACEMENT OF EXTERIOR WINDOWS AND DOORS IN EXISTING OPENINGS. REPLACEMENT WINDOWS: 7; REPLACEMENT SKYLIGHTS: 0; REPLACEMENT DOORS: 2. AFFECTS: 1 RESIDENTIAL UNIT(S), 0 NON-RESIDENTIAL UNIT(S), 3 INTERIOR COMMON AREAS, LOCATION: CONDO 5C. Approved per attached condo letter, windows to be by Renewal by Anderson as proposed.		9/16/2024
8/8/2024	9/3/2024	2024-1194	3104 W. Logan	B200025522	Logan Square Boulevards District	35	Exterior	Exterior: TUCKPOINTING AND UNIT MASONRY REPAIR / REPLACEMENT: 850 SQ. FT., LINTEL QTY. 0, MAX. LENGTH 0. LOCATION: SOUTH SIDE FRONT FACADE. Approved per attachments received 9/3/24: When grinding existing mortar joints, surrounding masonry units shall not be overcut. Dry grinding only, no chemical cleaning or sand blasting to occur with this approval. No replacement of stone with this permit. Pressure washing less than 400psi with fan tip brush.		9/16/2024
9/3/2024		2024-1195	2015 W. Cortez	B200027819	Ukrainian Village District	1	Exterior	Exterior: REPLACE FRONT PORCH, SAME SIZE AND LOCATION. RE-INSTALL EXISTING RAILINGS AND POSTS. (PORCH UNDER 50 SQ FT) LOCATIONS: 0 RESIDENTIAL UNIT(S), 0 NON-RESIDENTIAL UNIT(S), EXTERIOR WORK, FRONT PORCH. Porch to be reconstructed same as existing per attached photos received 9/3/24. Handrails to be salvaged and reinstalled as proposed. Material shall be wood, stairs shall have closed risers.		9/16/2024
9/16/2024		2024-1196	3757 S. Wabash	101059664	Black Metropolis-Bronzeville District	3	Mechanical	Mechanical: Modernization of Two(2) 2100LB Capacity, 100FPM, (1) 5-Floor,(1) 3-Floor, Passenger Elevators, pursuant to the scope of work submitted.(EV018612). Interior mechanical work only with this approval.		9/16/2024
9/4/2024		2024-1197	6955 S. Euclid	B200027911	Jackson Park Highlands District	5	Miscellaneous	Misc: interior plumbing work only		9/16/2024
9/16/2024		2024-1198	5550 N. Kenmore	Environment	Bryn Mawr Apartment Hotel	48	Environmental	Environmental: Dry grinding only. Care to be taken not to damage surrounding masonry units. No chemical cleaning or sandblasting.		9/16/2024
9/5/2024		2024-1199	3144 S. Dr Martin Luth	B200028173	Calumet-Giles-Prairie District	4	Miscellaneous	Miscellaneous: REPAIR OR IN-KIND REPLACEMENT OF 0 PLUMBING FIXTURES AS DESCRIBED IN PERMIT APPLICATION. REPAIR OR IN-KIND REPLACEMENT OF HOT WATER HEATER(S). INCLUDES REPAIR OR REPLACMENT OF PLUMBING PIPING. LOCATIONS: 1 RESIDENTIAL UNIT(S), 1 NON-RESIDENTIAL UNIT(S), BASEMENT. Interior plumbing work only, no exterior work with this approval.		9/16/2024

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9/16/2024		2024-1200	3757 S. Wabash	101059664	Black Metropolis-Bronzeville District	3	Miscellaneous	Misc: elevator modernization		9/16/2024
9/16/2024		2024-1201	10647 S. Champlain	101058537	Pullman District	9	Mechanical	Electrical: REMOVE OLD ROMEX. ADD ADDITIONAL OUTLETS. REPAIR COLD WATER GROUND PIPE. No other work.		9/16/2024
9/16/2024		2024-1202	435 N. Michigan	101058282	Tribune Tower	42	Mechanical	Electrical: **ELECTRICAL ONLY PERMIT**INSTALL NEW LOAD BANK AND INSTALL THE FEED AND CONNECTION FROM EXISTING SWITCHBOARD TO NEW LOAD BANK. No other work.	7/12/2018	9/16/2024
9/16/2024		2024-1203	220 S. Michigan	101059546	Historic Michigan Boulevard District	34	Mechanical	Electrical: MONTHLY MAINTENANCE AND SHOW SET UPS FOR JULY-AUG-SEPT 2024. No other work.		9/16/2024
9/16/2024		2024-1204	3250 S. Prairie	101059737	Calumet-Giles-Prairie District	3	Mechanical	Electrical: INSTALL (1) 60AMP BREAKER IN PUBLIC PANEL FOR (2) TESLA UNIVERSAL WALL CONNECTORS ON PEDESTAL.-GROUP POWER MANAGEMENT FEATURE No other work.		9/16/2024
8/20/2024	9/4/2024	2024-1205	219 W. Eugenie	B200026538	Old Town Triangle District	2	Exterior	Exterior: SIDING REPLACEMENT AT SIDES, FRONT AND REAR SIDING TO REMAIN. LOCATIONS: 1 RESIDENTIAL UNIT(S), 0 NON-RESIDENTIAL UNIT(S), EXTERIOR WORK, BOTH SIDES OF THE BUILDING. Approved per attachments received 8/20/24 and 9/4/24: Replacement of siding at side elevations with new cementitious slap siding only, no work to front elevation with this approval.		9/17/2024
9/18/2024		2024-1206	1930 N. Humboldt	Environment	Logan Square Boulevards District	26	Environmental	Environmental: Environmental: Care to be taken not to damage surrounding masonry units. Cleaner product to be Prosoco Enviro Klean 2010 All Surface Cleaner. Product to be used per manufacturer direction. Prior to full application, test the product on a small inconspicuous area to determine dwell time and compatability with the substrate.		9/18/2024
9/5/2024		2024-1207	2152 W. Cortez	B200028072	Ukrainian Village District	2	Exterior	Exterior: Minor tuckpointing and replacement of 7 lintels on front elevation. Any removed masonry to be salvaged and reinstalled when possible. Any new masonry to match historic in size, color, texture/finish, and general appearance. New mortar to match historic in color, texture, strength/type, and profile. All work and detailing to match existing.		9/18/2024
8/5/2024	9/4/2024	2024-1208	1020 W. Lawrence	B200025051	Uptown Square District	46	Exterior	Exterior: 2ND FLOOR ROOF SKY LIGHT MAINTENANCE: REPLACE NUTS AND BOLDS, REMOVE RUST AND PAINT. All work to match existing.		9/18/2024
9/18/2024		2024-1209	303 E. Chicago	101056538	Northwestern University Chicago Campus District	42	Interior	Interior: INTERIOR DEMOLITION OF NON-LOAD BEARING PARTITIONS, FIXTURES AND FINISHES AND NEW INTERIOR BUILD-OUT AND FINISHES per stamped HP plans dated 9/18/24. No exterior work or window replacement.		9/18/2024
9/19/2024		2024-1210	865 W. Newport	B200397721	Newport Avenue District	44	Mechanical	Electrical: LINE VOLTAGE ELECTRICAL WORK. REPAIR OR ALTER DEVICES ON EXISTING CIRCUITS. RECEPTACLE OUTLETS: 5 . LIGHTING OUTLETS: 4. SPECIFIC LOCATION: HALLWAY ON ALL THREE FLOORS. No exterior work, no other work.		9/19/2024
9/19/2024		2024-1211	2846 W. Walnut	B200397980	Waller Apartments	27	Miscellaneous	Misc: interior electrical only.		9/19/2024
9/19/2024		2024-1212	330 E. Cermak	101059230	R.R. Donnelley Plant	3	Miscellaneous	Misc: monthly maintenance		9/19/2024

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9/3/2024		2024-1213	1 N. LaSalle	101054305	One North LaSalle Building	34	Interior	Interior: INTERIOR ALTERATIONS TO AN EXISTING SUITE, 1,982 SF, ON THE 21ST FLOOR OF A NON-SPRINKLERED HISTORIC HI-RISE BUILDING, TYPE 1A CONSTRUCTION. INCLUDES CONNECTION TO A TENANT SUITE PREVIOUSLY PERMITTED IN SEPTEMBER, 2018 UNDER PERMIT NUMBER 100778476. OCCUPANCY : B BUSINESS, NO CHANGE; NO STRUCTURAL WORK; NO NEW TELECOMMUNICATION ROOMS. SELF-CERTIFICATION PROJECT. Per the Historic Preservation stamped drawings dated 9/19/24. No exterior work to occur with this approval.	6/2/1999	9/19/2024
9/5/2024		2024-1214	329 N. Dearborn	B200028092	Marina City	42	Interior	Interior: SCOPE: NONSTRUCTURAL INTERIOR ALTERATION TO FLOORS, COUNTERTOPS. LOCATIONS: 1 RESIDENTIAL UNIT(S), 0 NON-RESIDENTIAL UNIT(S), 1ST FLOOR, 2ND FLOOR. Interior work only, no exterior work with this approval.		9/20/2024
9/5/2024		2024-1215	108 W. Chicago	B200028093	Bush Temple of Music	2	Exterior	Exterior: REMOVE RUST AND PAINT FIRE ESCAPE. SEAL AROUND IMBEDS. LOCATIONS: 0 RESIDENTIAL UNIT(S), 0 NON-RESIDENTIAL UNIT(S), EXTERIOR WORK, WEST FIRE ESCAPE OVER ALLEY. Work to fire escape at alley only, no other exterior work with this permit.		9/20/2024
9/9/2024		2024-1216	215 W. Menomonee	101056693	Old Town Triangle District	43	Exterior and Interior	Exterior and interior: KITCHEN RENOVATION AND PARTIAL ADDITION TO OWNER'S 2-STORY, SINGLE-FAMILY HOME OF 3-B CONSTRUCTION. Approved per Historic Preservation stamped drawings dated 9/23/24: No exterior work to front or east side elevations, no work to roofline with this approval.		9/23/2024
5/22/2024	9/9/2024	2024-1217	305 W. Concord	101050125	Old Town Triangle District	2	New Construction	New construction: SELF-CERT 2019 CBRC: REPLACE EXISTING FRAME GARAGE WITH A NEW MASONRY GARAGE AND ROOF DECK FOR AN EXISTING SFR (OCCUPANCY GROUP R-5; TYPE IIIA CONSTRUCTION). Approved per Historic Preservation stamped drawings dated 9/24/24: New garage to have fiber cement lap siding siding by Hardie as proposed, at side and alley elevations. New garage only, no work to main house with this approval.		9/24/2024
9/25/2024		2024-1218	230 N. Michigan	101060309	Carbide & Carbon Building	42	Mechanical	Mechanical: Installation Of GAL Door Operator And Optiguard On Four (4) 2500lb.cpa, 350 FPM,Gearless Traction Passenger Elevators; #2 & #3- 25-Floors, #4 & #5 39-Floors. Pursuant To The Scoep Of Work Submitted. EV004209. Mechanical work for elevators only, no other work with this permit.		9/25/2024
9/25/2024		2024-1219	30 N. Michigan	101060042	Historic Michigan Boulevard District	42	Mechanical	Mechanical: Replacement of Hoist Cables on One(1) 2500LB Capacity, 20-Floor, 600FPM, Passenger Elevator(#4), pursuant to the scope of work submitted.(EV004182). Mechanical work for elevator only, no other work with this approval.		9/25/2024
9/25/2024		2024-1220	430 S. Michigan	101060010	Auditorium Building	4	Mechanical	Mechanical: Replacement of Hoist Cables on One(1) 2000LB Capacity, 11-Floor, 250FPM, Passenger Elevator(#8), pursuant to the scope of work submitted.(EV004336). Mechanical work for elevator only, no other work with this approval.		9/25/2024
9/10/2024		2024-1221	407 S. Dearborn	101059484	Old Colony Building	34	Interior	Interior: SPR 2019 CBC: MINOR INTERIOR RENOVATION AND ADD STOREFRONT VESTIBULE TO AN EXISTING TACO BELL CANTINA RESTAURANT ON 1ST FLOOR AS PER PLANS. Approved per Historic Preservation stamped drawings dated 9/25/24: no change to windows, storefront, or exterior.		9/25/2024

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9/25/2024		2024-1222	1000 W. Fulton Market	101060031	Fulton-Randolph Market District	27	Mechanical	Mechanical: Replacement of Hoist Cables and Brake on One(1) 3500LB Capacity, 500FPM, 10-Floor, Passenger Elevator(D), pursuant to the scope of work submitted.(100534017). Mechanical work for elevator only, no other work with this approval.		9/25/2024
9/25/2024		2024-1223	310 N. Peoria	101060319	Fulton-Randolph Market District	27	Miscellaneous	Misc: installation of vertical wheelchair lift in rear lobby		9/25/2024
9/25/2024		2024-1224	19 E. Goethe	B200028389	Astor Street District	43	Exterior	Exterior: Masonry repairs to front elevation including replacement of 9 units, restoration of sandstone detailing, tuckpointing. Any removed masonry to be salvaged and reinstalled when possible. Any new masonry to match historic in size, color, texture/finish, and general appearance. New mortar to match historic in color, texture, strength/type, and profile. All work and detailing to match historic.		9/25/2024
9/25/2024		2024-1225	1535 N. Sandburg	Environment	Germania Club Building	43	Environmental	Environmental: Dry grinding only. Care to be taken not to damage surrounding masonry units. No chemical cleaning or sandblasting.		9/25/2024
9/17/2024		2024-1226	1820 N. Lincoln	B200397543	Old Town Triangle District	43	Mechanical	Electrical: LINE VOLTAGE ELECTRICAL WORK. NEW PERMANENT 200 AMP SERVICE DISCONNECTING MEANS WITH 10 CIRCUITS. RECEPTACLE OUTLETS: 1 . LIGHTING OUTLETS: 1. SPECIFIC LOCATION: ELECTRIC. No other work.		9/25/2024
9/24/2024		2024-1227	1530 W. Jackson	B200398567	Jackson Boulevard District	34	Mechanical	Electrical:LINE VOLTAGE ELECTRICAL WORK. ADD 1 CIRCUITS TO EXISTING 200 AMP SERVICE DISCONNECTING MEANS. RECEPTACLE OUTLETS: 1 . LIGHTING OUTLETS: 0. ELECTRIC VEHICLE SUPPLY EQUIPMENT:1 SPACES. SPECIFIC LOCATION: INSTALL EV CHARGER IN GARAGE. No other work.		9/25/2024
9/11/2024		2024-1228	54 W. Hubbard	B200028527	Courthouse Place	42	Interior	Interior: interior work to 6th floor conference room. No exterior work or window replacement.		9/26/2024
9/11/2024		2024-1229	6923 S. Euclid	B200028695	Jackson Park Highlands District	5	Interior	Interior: interior work to prep for new finishes. No exterior work or window replacement permitted.		9/26/2024
9/27/2024		2024-1230	1209 N. Astor	Environment	Astor Street District	43	Environmental	Environmental: Dry grinding only. Care to be taken not to damage surrounding masonry units. No chemical cleaning or sandblasting.		9/27/2024
9/11/2024		2024-1231	1115 W. Fulton Market	101058256	Fulton-Randolph Market District	27	Interior	Interior: SELF-CERT 2019 CBRC: INTERIOR ALTERATIONS TO EXISTING 2ND FLOOR OFFICE SPACE. NO CHANGE TO EXISTING USE. (OCCUPANCY BUSINESS / CONSTRUCTION TYPE IIIB) Per the Historic Preservation stamped drawings dated 9/27/24. No exterior work or alterations to the existing windows to occur with this approval.		9/27/2024
9/30/2024		2024-1232	732 W. Randolph	101057772	Fulton-Randolph Market District	27	Miscellaneous	Fire Alarm: **FIRE ALARM PERMIT**INSTALLATION OF HIGH-RISE FIRE ALARM AND VOICE COMMUNICATION SYSTEM PER CHICAGO BUILDING CODE SECTIONS 403 AND 907. Interior fire alarm work only, no other work with this permit.		9/30/2024
9/30/2024		2024-1233	307 N. Michigan	101055614	Old Republic Building	42	Miscellaneous	Misc: fire alarm 20th floor		9/30/2024
9/30/2024		2024-1234	140 S. Dearborn	101056484	Marquette Building	34	Miscellaneous	Fire Alarm: **FIRE ALARM PERMIT**MODIFICATION OF EXISTING HIGH-RISE FIRE ALARM SYSTEM TO ACCOMMODATE TENANT RENOVATION. Interior fire alarm work only, no other work with this permit.		9/30/2024

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9/30/2024		2024-1235	18 S. Michigan	101052102	Historic Michigan Boulevard District	34	Miscellaneous	Fire Alarm: **FIRE ALARM PERMIT**TENANT RENOVATION OF PARTIAL 1ST FLOOR. ADD (2) CARD READERS TO NEW ENTRANCE TURNSTYLES PER CHICAGO BUILDING CODE SECTIONS: 1010.3.2 THIS BUILDING IS FULLY SPRINKLERED AND IS EQUIPPED WITH A CITY OF CHICAGO APPROVED FIRE ALARM SYSTEM. Interior fire alarm work only, no other work with this permit.		9/30/2024
9/30/2024		2024-1236	4707 S. Marshfield	101053368	Oppenheimer-Goldblatt Bros.	20	Miscellaneous	Misc: fire alarm tenant buildout		9/30/2024
9/30/2024		2024-1237	140 S. Dearborn	101056482	Marquette Building	34	Miscellaneous	Fire Alarm: **FIRE ALARM PERMIT**MODIFICATION OF EXISTING HIGH-RISE FIRE ALARM SYSTEM TO ACCOMMODATE TENANT RENOVATION. Interior fire alarm work only, no other work with this permit.		9/30/2024
9/30/2024		2024-1238	20 N. Wacker	101058468	Civic Opera House	42	Miscellaneous	Fire Alarm **FIRE ALARM PERMIT**ALTERATION OF EXISTING HIGH-RISE FIRE ALARM SYSTEM SERVING CLASS E BUSINESS (SUITE 3410), INCLUDING NEW DEVICES ON FLOOR 34. ALL NEW DEVICES WILL BE TIED INTO EXISTING CITY OF CHICAGO REQUIRED FIRE ALARM SYSTEM IN THIS BUILDING. Interior fire alarm work only, no other work with this permit.		9/30/2024
9/30/2024		2024-1239	4707 S. Marshfield	101053366	Oppenheimer-Goldblatt Bros.	20	Miscellaneous	Misc: fire alarm for tenant		9/30/2024
9/30/2024		2024-1240	4707 S. Marshfield	101053369	Goldblatt Bros. Department Store Building	20	Miscellaneous	Fire Alarm: **FIRE ALARM PERMIT**TENANT BUILD-OUT OF REQUIRED FIRE ALARM AND VOICE COMMUNICATION SYSTEM PER CHICAGO BUILDING CODE. Interior fire alarm work only, no other work with this permit.		9/30/2024
9/30/2024		2024-1241	4707 S. Marshfield	101052958	Oppenheimer-Goldblatt Bros.	20	Miscellaneous	Misc: fire alarm for tenant		9/30/2024
9/30/2024		2024-1242	141 W. Jackson	101059666	Chicago Board of Trade Building	42	Miscellaneous	Misc: fire alarm		9/30/2024
3/20/2024	9/17/2024	2024-1243	2300 S. Michigan	101046211	Motor Row District	3	Exterior	9/30/24: New wireless communication equipment only, no other work with this approval. Antennas not to exceed 92'-0" measured to the highest point as proposed.		9/30/2024
9/17/2024		2024-1244	707 W. Hutchinson	B200397570	Hutchinson Street District	46	Exterior	Exterior: Tuckpointing and replacement of one lintel after removal of non-historic permastone. Any removed underlying masonry to be salvaged and reinstalled when possible. Any new masonry to match original in size, color, texture/finish, and general appearance. New mortar to match historic in color, texture, strength/type, and profile. Should substantial masonry replacement (more than 20%) be required, please contact emily.barton@cityofchicago.org prior to work.		9/30/2024
9/12/2024		2024-1258	410 S. Michigan	101051632	Fine Arts Building	4	Exterior and Interior	Exterior and interior: SPR 2019 CBRC: STRUCTURAL ONLY WORK AT BASEMENT, 10TH FLOOR AND MECHANICAL PENTHOUSE TO ACCOMMODATE AN ELEVATOR REPLACEMENT AND MODERNIZATION AT AN EXISTING OFFICE BUILDING. WORK TO INCLUDE MASONRY WORK; CONCRETE SLAB FOR NEW CMU WALL, 2 HR. SHAFT WALL AND DOOR AT BASEMENT & NEW 2 HR. RATED SHAFT WALL AT 10TH FLOOR AND PENTHOUSE MACHINE ROOM AS PER PLANS. 1A CONSTRUCTION. B-BUSINESS. NO ELECTRICAL WORK. Approved per Historic Preservation stamped drawings dated 9/27/24: Exterior work limited to elevator penthouse only, no other exterior work or changes to roofline with this approval.		9/27/2024

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TOTAL # OF PERMIT APPLICATIONS APPROVED:	96
TOTAL # OF REVIEWS PERFORMED:	126
AVERAGE # OF DAYS TO ISSUE CORRECTIONS/APPROVAL	6.0