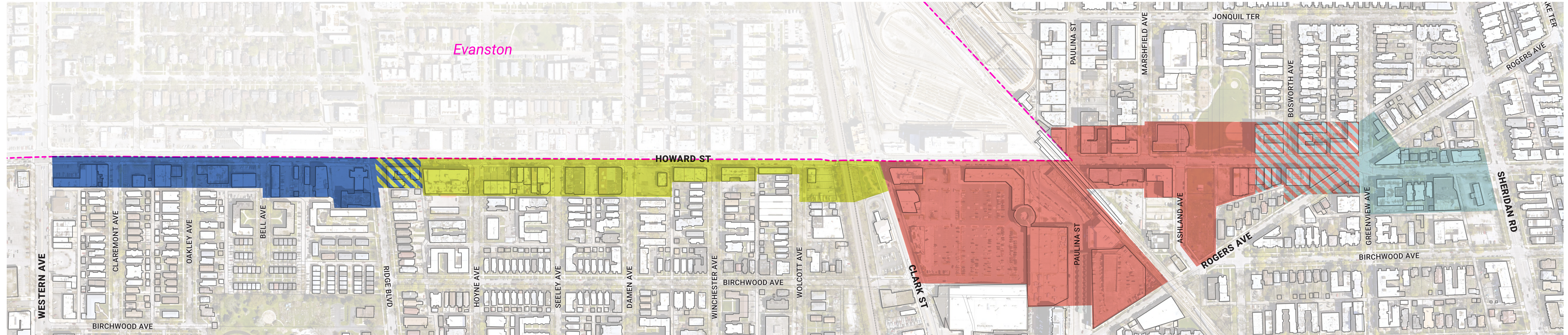


# Howard Land Use + Development Vision



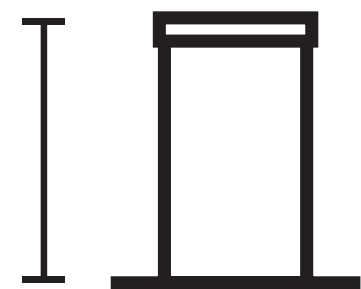
## West End

### Recommended Uses:

- Prioritize active uses along the sidewalk such as pedestrian-friendly businesses and gathering spaces, especially at intersections and high foot traffic locations
- Primarily housing above the ground floor
- Ground floor housing may be appropriate when commercial or other active uses are not viable
- Underutilized single story or other low density commercial spaces should be activated (permanently or temporarily) or redeveloped into higher density mixed use

**Recommended Density:** 4-6 stories, 3 FAR

**Recommended Primary Zoning Districts:** B3-3, B2-3



Typical heights: 4-6 stories tall



Typical ground floor uses: pedestrian-friendly businesses and gathering spaces



Occasional ground floor uses: housing units, if commercial is not viable

## Restaurant Row

### Recommended Uses:

- Prioritize active uses along the sidewalk such as restaurants
- Primarily housing above the ground floor
- Ground floor housing may be appropriate when commercial or other active uses are not viable
- Single story or other low density commercial spaces should be activated (permanently or temporarily) or redeveloped into higher density mixed use

**Recommended Density:** 4-6 stories, 3-4 FAR

**Recommended Primary Zoning District:** B3-3



Typical heights: 4-6 stories tall



Typical ground floor uses: pedestrian-friendly businesses and gathering spaces, especially food service



Occasional ground floor uses: housing units, if commercial is not viable

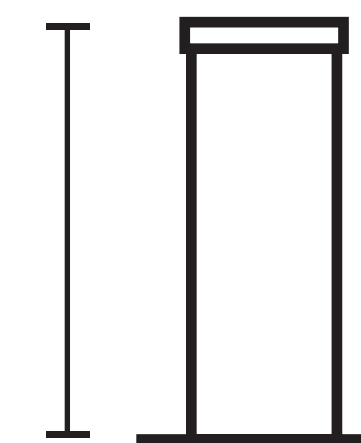
## Howard Station

### Recommended Uses:

- Transit- and pedestrian-oriented development with active ground floors such as retail, restaurant, personal service, and community oriented spaces
- New ground floor housing along the sidewalk is discouraged

**Recommended Density:** 4-18 stories, 3-5 FAR (highest density of corridor)

**Recommended Primary Zoning District:** B3-3, B3-5



Typical heights: 4-18 stories tall



Typical ground floor uses: pedestrian-friendly businesses and gathering spaces



Ground floor housing typically discouraged

## Lakeside

### Recommended Uses:

- Primarily residential uses
- Smaller scale, neighborhood serving commercial and community uses encouraged, especially near corners and higher pedestrian areas
- Ground floor housing encouraged if designed in a pedestrian-friendly way

**Recommended Density:** 4-6 stories, 3-4 FAR

**Recommended Primary Zoning District:** B2-3, B3-3



Typical heights: 4-6 stories tall



Typical ground floor uses: pedestrian-friendly businesses and gathering spaces

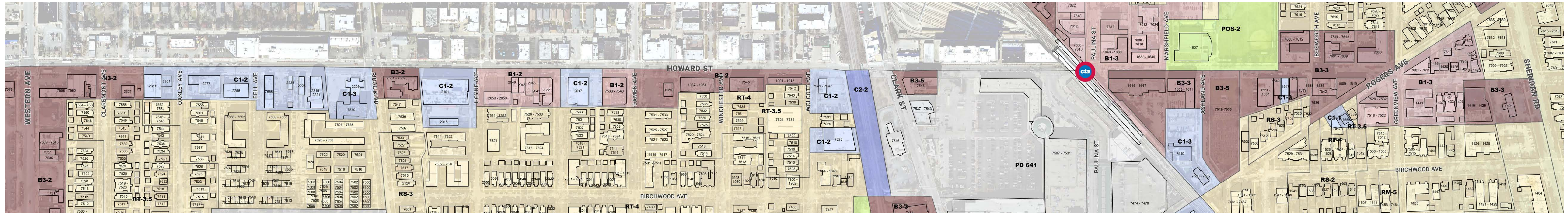


Typical ground floor uses: housing

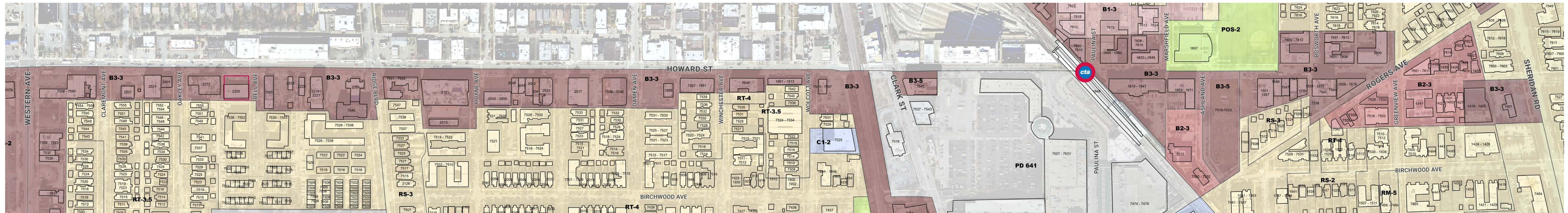


# Howard Land Use + Development Vision

## Existing Zoning



## Proposed Zoning



### NEW NONCONFORMING USE

- No impact to existing operations
- Nonconforming status will lapse if it is not used or licensed for 18+ months or structure is intentionally demolished
- Nonconforming status not affected by change of ownership
- Zoning Administrator may approve shift to similar land use and expansion within existing building

### Allowed Uses by District

	RT-4	B1	B2	B3	C1	C2
New Detached Residence	-	-	-	-	-	-
New Two Flat	✓	-	-	-	-	-
3+ Units (above ground floor)	✓	✓	✓	✓	✓	✓
3+ Units (at ground floor)	✓	S	✓	S	S	S
Restaurant, General	-	-	-	✓	✓	✓
Restaurant, Limited	-	✓	✓	✓	✓	✓
Taverns	-	-	-	S	✓	✓
Retail	-	✓	✓	✓	✓	✓
Drive Thrus	-	S	S	S	S	S
Car Wash	-	-	-	-	✓	✓
Gas Station	-	-	-	S	S	S
Veterinarian	-	-	-	✓	✓	✓
Tattoo Parlors	-	-	-	S	✓	✓
Auto Sales (Outdoor)	-	-	-	-	-	✓
Auto Sales (Indoor)	-	-	-	✓	✓	✓
Auto Body Shop	-	-	-	-	✓	✓
Auto Repair Shop	-	-	-	✓	✓	✓
Auto Parts Retail	-	-	-	✓	✓	✓
Adult Use	-	-	-	-	S	S

*This table does not include all land uses addressed in the Chicago Zoning Ordinance*

### "-3" Basic Form Requirements

**Floor Area Ratio:** 3.0 FAR  
**Height Maximum:** 50-65 feet  
*Dependent on lot width and ground floor use*

**Minimum lot area/unit:** 400  
*Less for efficiency/SRO*

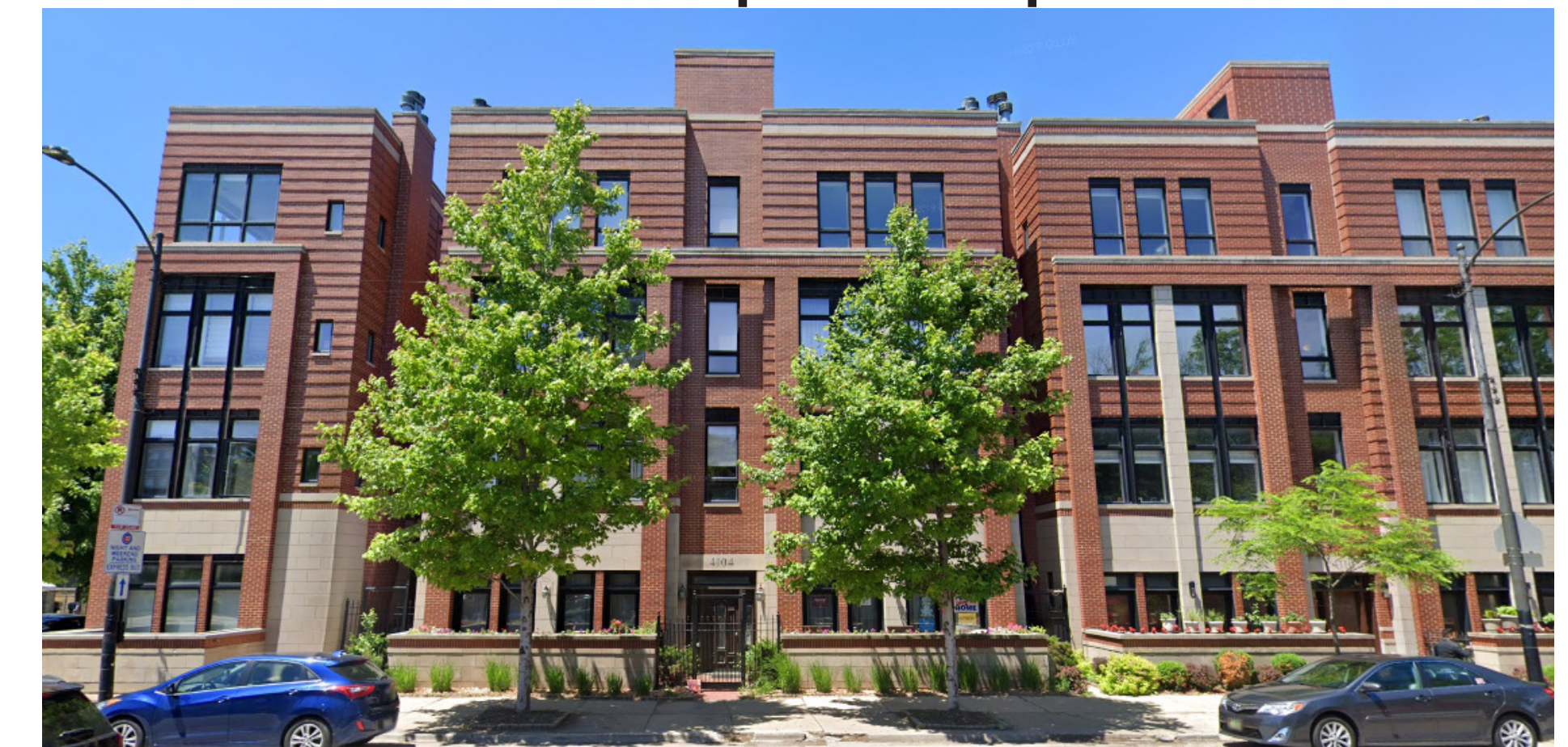
**Front Setback:** 0 ft  
*Some exceptions*

**Rear Setback:** 30 ft  
*For floors with residential units*

*Note: Planned Developments + Qualifying Type 1 Map Amendments for Transit Served Location projects may differ*

- ✓ allowed
- not allowed
- S requires a special use from the Zoning Board of Appeals

### Recent B3-3 and B2-3 Development Examples



Specifies District + Allowed Land Uses

Specifies Density

Scan for complete list of allowed uses and development requirements



Chicago Municipal Code Ch. 17-3 (Business + Commercial Districts)